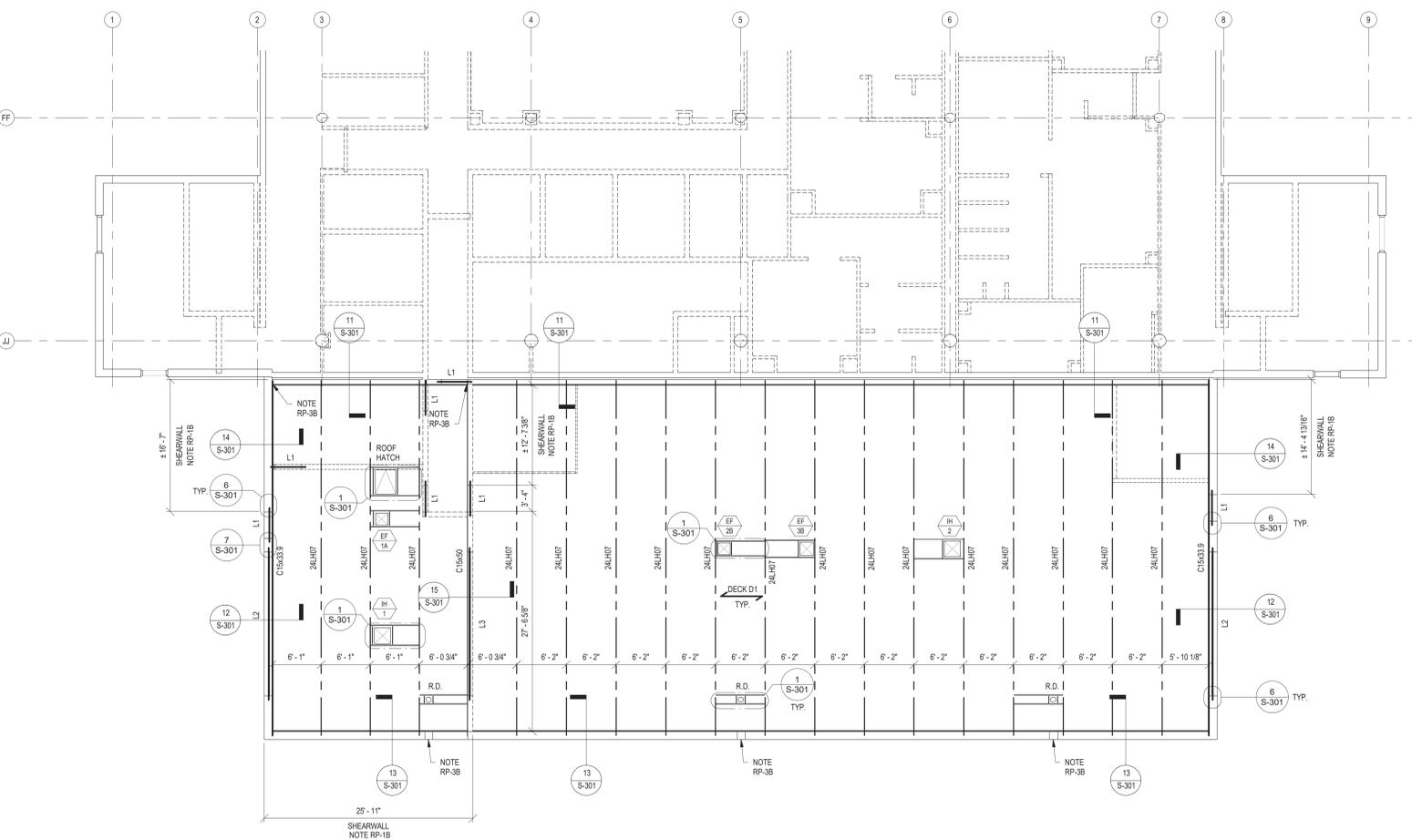


PLAN NOTES & SYMBOLS

- CONTRACTOR TO COORDINATE ALL DIMENSIONS AND ELEVATIONS W/ ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS.
- SEE SHEET S-000 FOR PROJECT GENERAL NOTES, DESIGN LOAD CRITERIA AND SPECIAL INSPECTION & TESTING SCHEDULES.
- ALL SOIL, CONCRETE, REINFORCING STEEL, MASONRY AND STEEL TO BE TESTED IN ACCORDANCE WITH THE SPECIAL TESTING AND INSPECTION SCHEDULES ON SHEET S-000.
- SEE DETAIL 1S-201 FOR PLACEMENT OF W.W.R. IN CONCRETE SLAB ON GRADE.
- SEE DETAIL 1S-201 FOR TYPICAL SLAB CONTROL JOINT DETAIL.
- SEE DETAIL 2S-201 FOR TYPICAL SLAB CONSTRUCTION JOINT DETAIL.
- SEE DETAIL 3S-201 FOR ADDITIONAL SLAB REINFORCING AT RE-ENTRANT CORNERS.
- SEE DETAIL 4S-201 FOR TYPICAL CORNER BAR DETAIL FOR FOUNDATION WALLS AND MASONRY BOND BEAMS.
- SEE DETAIL 5S-201 FOR TYPICAL STEPPED FOOTING DETAIL.
- SEE DETAIL 6S-201 FOR TYPICAL PIPE PENETRATION DETAILS THROUGH FOUNDATION WALLS & FOOTINGS.
- SEE DETAIL 7S-201 FOR TYPICAL CONSTRUCTION JOINT DETAIL AT FOUNDATION WALLS.
- SEE DETAIL 8S-201 FOR TYPICAL REBAR DETAILING WHERE FLOOR SLAB IS CAST OVER THE TOP OF THE FOUNDATION WALL.
- REFER TO ARCHITECTURAL DRAWINGS FOR FOUNDATION WALL & UNDER SLAB RIGID INSULATION REQUIREMENTS.
- PROVIDE PIER REINFORCING AT ALL OPENINGS PER 6S-301.
- (95'-6") DENOTES ANTICIPATED TOP OF FOOTING ELEVATION.
- C.J. DENOTES SLAB CONTROL OR CONSTRUCTION JOINT. SEE TYPICAL DETAILS 1S-201 & 2S-201. MAXIMUM DISTANCE BETWEEN JOINTS IN ANY DIRECTION TO BE 18'-0".
- F.D. DENOTES FLOOR DRAIN. COORDINATE W/ ARCH. & M.E.P. DRAWINGS. SEE ARCH. AND M.E.P. DRAWINGS FOR REQUIRED SLOPES TO DRAINS.
- SLAB S1 (TYPICAL INTERIOR SLAB) INDICATES 5" CONCRETE SLAB REINFORCED W/ 6#-W2.9W2.9 W.W.R. PROVIDED IN FLAT SHEETS ONLY, ON 6" COMPACTED GRANULAR FILL. SEE PLAN & ARCHITECTURAL DWGS. FOR T1 SLAB ELEVATIONS.
- SLAB S2 (TYPICAL EXTERIOR SLAB) INDICATES 5" CONCRETE SLAB REINFORCED W/ 6#-W2.9W2.9 W.W.R. PROVIDED IN FLAT SHEETS ONLY, ON 6" COMPACTED GRANULAR FILL. SEE PLAN & ARCHITECTURAL DWGS. FOR T1 SLAB ELEVATIONS.
- NOTE FP-1B: PROVIDE (2) #6 x 6'-0" LG. DOWEL BARS IN PIER. EMBED 3'-0" INTO CONC. FOUNDATION WALL & GROUTED SOLID INTO MASONRY WALL. COORDINATE LOCATION W/ MASONRY CONTRACTOR. LAP DOWEL BARS W/ FULL HEIGHT MASONRY WALL REINFORCING.
- DECK D1 INDICATES TYPE "B" (WIDE RIB) 1 1/2"-20 GA. GALVANIZED METAL ROOF DECK. ATTACH DECK TO ALL SUPPORTING MEMBERS W/ 5/8"Ø PUDDLE WELDS @ 12" O.C. (Ø @ PERIMETER) & (2) #10 HEX HEAD SIDELAP SCREWS EQUALLY SPACED BETWEEN SUPPORTS. PROVIDE 3" SPAN W/ MIN. SUPPORT.
- DECK D2 INDICATES 3" NORMAL WEIGHT CONCRETE SLAB ON 2"-20 GA. V.I. COMPOSITE ETAL DECK OR EQUAL (5" TOTAL THICKNESS). METAL DECK TO BE ATTACHED TO ALL SUPPORTING MEMBERS W/ 5/8"Ø PUDDLE WELDS @ 12" O.C. & #10 HEX HEAD SIDELAP SCREWS @ 36" O.C. MAX. REINFORCE CONCRETE SLAB W/ 6#-W2.9W2.9 SLAT SHEET W.W.R.
- PROVIDE ANGLE FRAME REINFORCEMENT AT ALL PENETRATIONS THRU THE ROOF DECK. SEE TYPICAL ROOF OPENING FRAMING DETAIL 1S-301 FOR ADDITIONAL INFORMATION.
- SUPPLEMENTAL WEB REINFORCING IS REQUIRED AT ALL JOISTS WHERE CONCENTRATED LOADS ARE APPLIED TO JOISTS BETWEEN PANEL POINTS. SEE DETAIL 3S-301 FOR ADDITIONAL INFORMATION.
- THE TOP OF ALL NON-LOAD BEARING MASONRY PARTITION WALLS ARE TO BE LATERALLY STABILIZED TO THE UNDERSIDE OF THE ROOF STRUCTURE IMMEDIATELY ABOVE. SEE TYPICAL SECTIONS 7-9S-301 FOR THE REQUIRED CONSTRUCTION.
- PERIMETER DECK ANGLES ARE TO BE CONTINUOUS AROUND THE LIMITS OF THE ROOF DECK. JOINTS BETWEEN INDIVIDUAL ANGLE PIECES ARE TO BE ATTACHED WITH FULL PENETRATION FIELD WELDS.
- CHANNELS THAT RUN PARALLEL AND IMMEDIATELY ADJACENT TO A PERIMETER MASONRY WALL ARE TO BE DETAILED WITH AND WELDED TO A 6"x3"x8" BEARING PLATE AT EACH END. BEARING PLATES TO BE DETAILED W/ (2) 3/8" DIA. x 4" WELDED HEADED STUDS ON THE UNDERSIDE OF THE PLATE. REFER TO DETAIL 9S-301 FOR ADDITIONAL INFORMATION.
- A1 DENOTES 1.64x5/16 DECK SUPPORT ANGLE. ATTACH ENDS OF ANGLE TO SUPPORT FRAMING SIM. TO DETAIL 1S-301.
- A2 DENOTES 1.64x5/16 FRAMING ANGLE. ATTACH ENDS OF ANGLE TO SUPPORT FRAMING SIM. TO DETAIL 1S-301.
- L DENOTES LINTEL. SEE LINTEL SCHEDULE B ON THIS SHEET.
- M.C.J. DENOTES APPROXIMATE LOCATION OF MASONRY CONTROL JOINT. REFER TO ARCH. DRAWINGS FOR CONSTRUCTION DETAILS OF JOINT. CONTRACTOR TO COORD. M.C.J. LOCATIONS W/ ARCH. DWGS.
- R.D. DENOTES ROOF DRAIN. COORDINATE WITH ARCHITECTURAL & M.E.P. DRAWINGS. PROVIDE ANGLE FRAME SUPPORT BENEATH DECK SIMILAR TO TYPICAL ROOF OPENING DETAIL 1S-301.
- NOTE RP-1B: DIMENSION INDICATES APPROXIMATE LENGTH OF MASONRY SHEAR WALL. MASONRY CONTROL JOINTS ARE NOT PERMITTED WITHIN THE LIMITS OF ANY SHEAR WALL. AT ENDS OF SHEAR WALL PANELS AND AT EACH END OF OPENINGS, PROVIDE 3 SETS OF (2) #6 BARS FULL HEIGHT IN CMU FROM TOP OF FOUNDATION WALL FTG. TO TOP OF MASONRY WALL. LAP W/ #6 DOWELS IN FOUNDATION WALL. CROUT ALL COURSES W/ REBAR S.C.U. USING 3000 PSI CONCRETE GROUT.
- NOTE RP-2B: PROVIDE 3/8" x 1/2" LESS WIDTH OF WALL PLATE LINTEL (GALV.) AT SCUPPER. PROVIDE Ø BEARING AT EACH END.
- NOTE RP-3B: DO NOT WELD CHANNEL TO BEARING PLATE BP1.

1 FOUNDATION PLAN - ALTERNATE #2
1/8" = 1'-0"



2 ROOF FRAMING PLAN - ALTERNATE #2
1/8" = 1'-0"

LINTEL SCHEDULE B

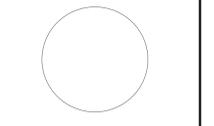
MARK	MEMBER SIZE	SHAPE	REMARKS
L1	(2)L3 12x3 1/2x5/16		
L2	MC12x31 & 5/16" x 1/2" PLATE		PROVIDE BP1 EACH END-SEE DETAIL 5S-301
L3	MC12x35 & 5/16" x 1/2" PLATE		PROVIDE BP1 EACH END-SEE DETAIL 5S-301

- SEE DETAIL 5S-301 FOR ADDITIONAL INFORMATION.
- BEAM TO BE CENTERED IN MASONRY CONSTRUCTION U.N.O. ON PLAN OR SECTIONS.
- ALL W BEAMS INDICATED ABOVE TO CONFORM TO ASTM A322 OR ASTM A892 (F4130/85).
- ALL CHANNELS, PLATES AND ANGLES INDICATED ABOVE TO CONFORM TO ASTM A36 STEEL U.N.O.
- PROVIDE MASONRY ANCHORS @ 32" O.C. HORIZONTALLY ON EACH SIDE OF BEAM WEB FOR ALL LINTELS 12" IN DEPTH OR GREATER.
- ALL EXTERIOR LINTELS TO BE GALVANIZED.
- PROVIDE (1) L3 12x3 1/2x5/16 FOR EACH 4" INCREMENT OF DEPTH AT ALL RECESSED ARCHITECTURAL OPENINGS UP TO 2'-6" IN LENGTH (I.E. FIRE EXTINGUISHER CABINETS, WATER COOLERS, ETC.)

BEARING PLATE SCHEDULE

Mark	L	W	L	REMARKS
BP1	3/8"	7"	7"	GROUT WALL SOLID 2 COURSES DEEP x 2'-0" WIDE

- MASON TO INSTALL BEARING PLATES IN MASONRY WALLS SO THAT THE THICKNESS OF THE PLATE IS NOT VISIBLE IN THE FINISHED FACADE.
- ALL BEARING PLATES TO HAVE (2) 3/8" x 4" LONG WELDED HEADED STUDS U.N.O.
- BEARING PLATES LOCATED DIRECTLY OVER MASONRY CONTROL JOINTS (M.C.J.) ARE TO HAVE WELDED HEADED STUDS SHIFTED TO ONE SIDE OF THE CONTROL JOINT. USE BOND BREAKER BETWEEN BOTTOM OF PLATE AND TOP OF WALL AT THE SIDE OF BEARING PLATE WITHOUT STUDS.
- 1" THICKNESS OF PLATE.
- REFER TO 5S-301 FOR ADDITIONAL INFORMATION.



SIGNATURE
DATE

REVISIONS

NO.	DESCRIPTION	DATE

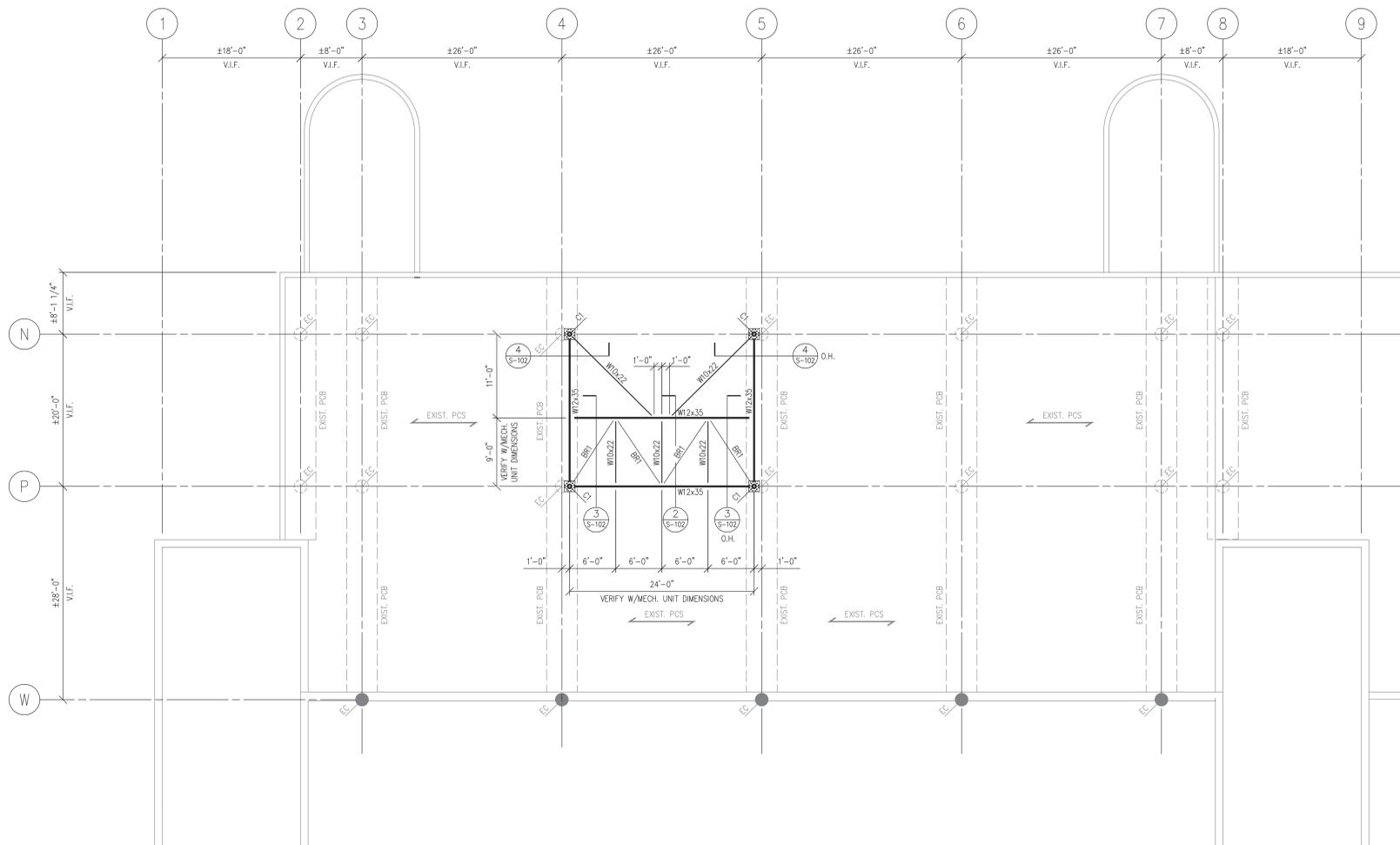
PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY RM
CHECKED BY JRB

ALTERNATE #2
FOUNDATION PLAN & ROOF
FRAMING PLAN

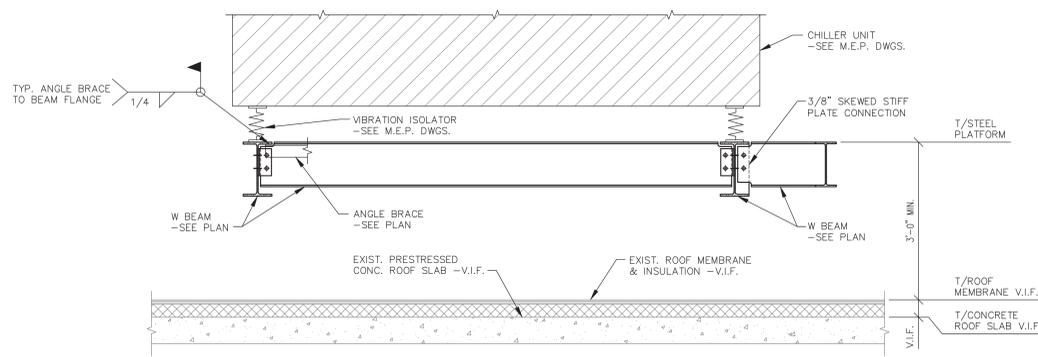
S-101B

PLAN NOTES & SYMBOLS

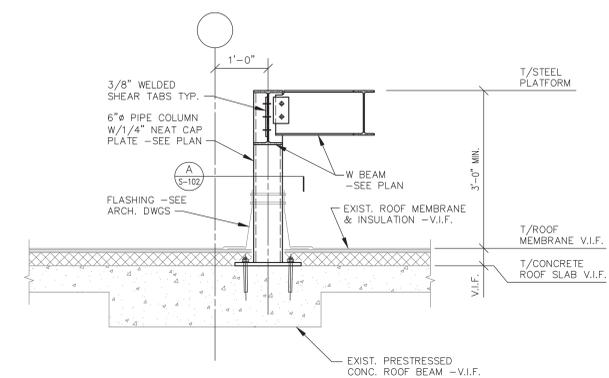
- CONTRACTOR TO COORDINATE ALL DIMENSIONS AND ELEVATIONS W/ ARCHITECTURAL DRAWINGS, MECHANICAL DRAWINGS AND EXISTING CONDITIONS.
- SEE SHEET S-000 FOR PROJECT GENERAL NOTES, DESIGN LOAD CRITERIA AND SPECIAL INSPECTION & TESTING SCHEDULES.
- ALL STEEL TO BE TESTED IN ACCORDANCE WITH THE SPECIAL TESTING AND INSPECTION SCHEDULES ON SHEET S-000.
- BR1 DENOTES L4x4x3/8 DIAGONAL BRACE FIELD WELDED TO UNDERSIDE OF BEAM TOP FLANGE.
- C1 DENOTES 6" x 18.97 PLF ASTM A53 SCHEDULE 40 PIPE COLUMN.
- EC DENOTES EXISTING CONCRETE COLUMN - V.I.F.
- EXIST. PCB DENOTES EXISTING PRESTRESSED CONCRETE BEAM - V.I.F.
- EXIST. PCS DENOTES EXISTING PRESTRESSED CONCRETE SLAB - V.I.F.
- ALL NEW STEEL FOR ROOF TOP MECHANICAL PLATFORM TO BE HOT DIPPED GALVANIZED.
- PRIOR TO DRILLING INTO OR CORING THRU THE EXISTING CONCRETE STRUCTURE, THE CONTRACTOR IS TO CONFIRM THE LOCATION OF ALL EXISTING REINFORCING STEEL AND PRESTRESSED TENDONS IN THE PROPOSED AREA OF WORK AND ADJUST THE LOCATION OF NEW HOLES AS REQUIRED TO ENSURE THAT NO EXISTING REINFORCING STEEL OR PRESTRESSED TENDONS ARE DAMAGED. CONFIRMATION OF THE EXISTING REBAR AND TENDON LOCATIONS IS TO BE ESTABLISHED BY AN INDEPENDENT TESTING FIRM EMPLOYED BY THE CONTRACTOR, UTILIZING NON-DESTRUCTIVE TESTING, TEST PILOT HOLES AND ANY OTHER METHODOLOGIES NECESSARY TO LOCATE ALL EMBEDDED COMPONENTS IN THE EXISTING CONCRETE.



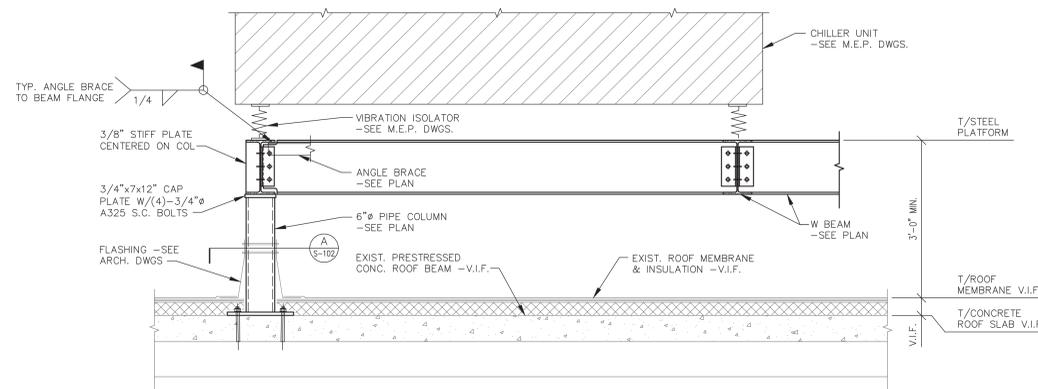
1 EXISTING LOW ROOF FRAMING PLAN
1/8" = 1'-0"



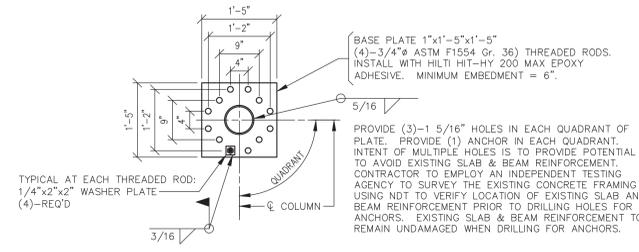
2 SECTION
SCALE: 3/4" = 1'-0"



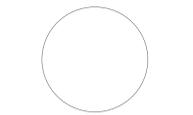
4 SECTION
SCALE: 3/4" = 1'-0"



3 SECTION
SCALE: 3/4" = 1'-0"



A BASE PLATE DETAIL
SCALE: 3/4" = 1'-0"

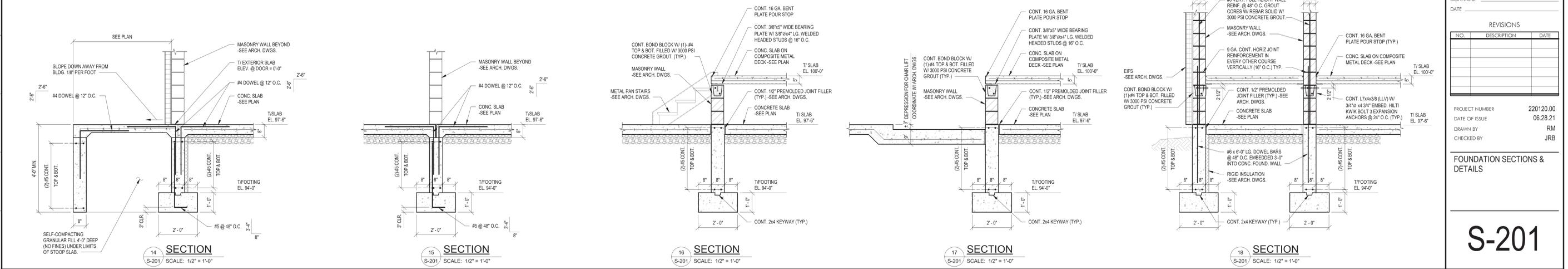
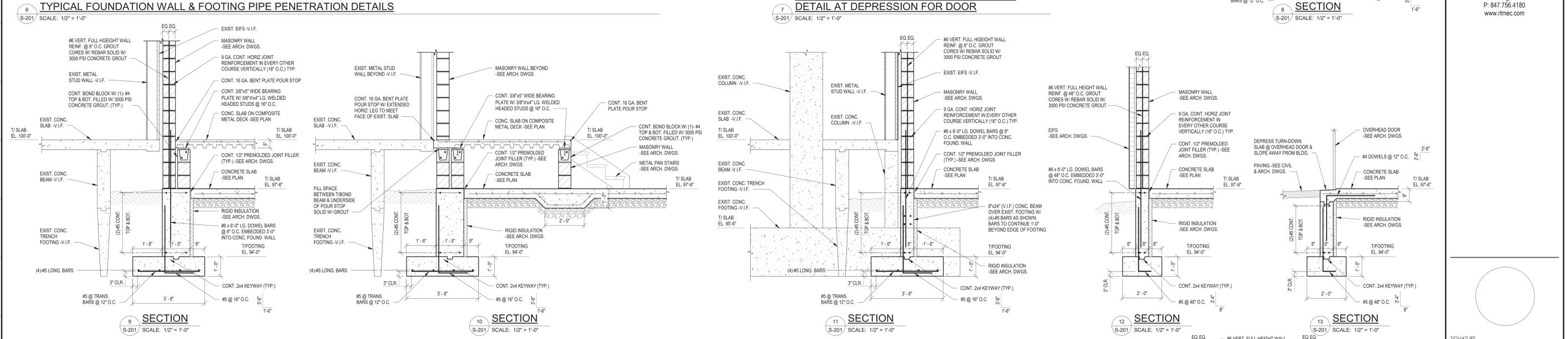
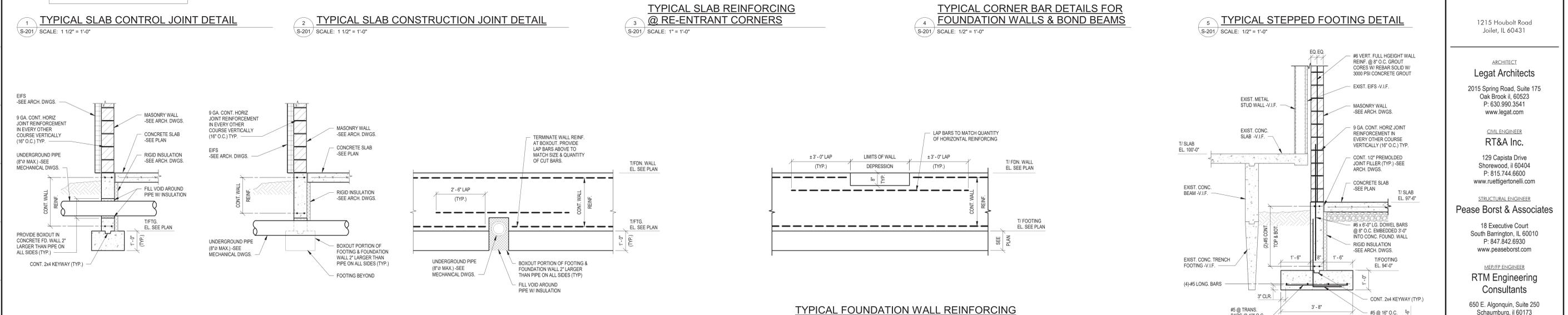
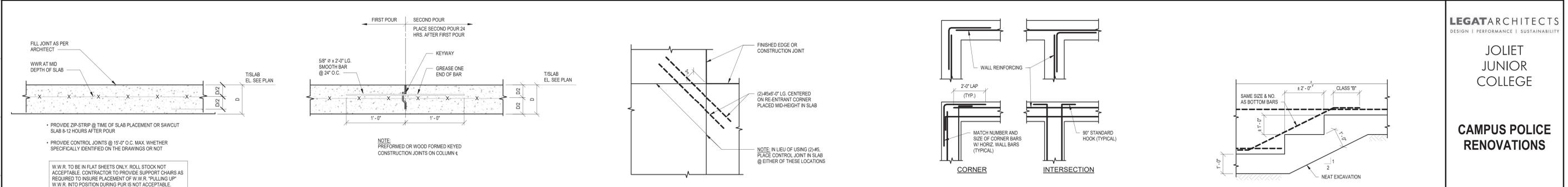


SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY RM
CHECKED BY JRB

MECHANICAL PLATFORM FRAMING PLAN & DETAILS



LEGAT ARCHITECTS
 DESIGN | PERFORMANCE | SUSTAINABILITY

JOLIET JUNIOR COLLEGE

CAMPUS POLICE RENOVATIONS

1215 Houbolt Road
 Joliet, IL 60431

ARCHITECT
Legat Architects
 2015 Spring Road, Suite 175
 Oak Brook, IL 60523
 P: 630.990.3541
 www.legat.com

CIVIL ENGINEER
RT&A Inc.
 129 Capista Drive
 Shorewood, IL 60044
 P: 815.744.6600
 www.ruetigertonnell.com

STRUCTURAL ENGINEER
Pease Borst & Associates
 18 Executive Court
 South Barrington, IL 60010
 P: 847.842.6930
 www.peaseborst.com

ME/P/EP ENGINEER
RTM Engineering Consultants
 650 E. Algonquin, Suite 250
 Schaumburg, IL 60173
 P: 847.756.4180
 www.rtmec.com

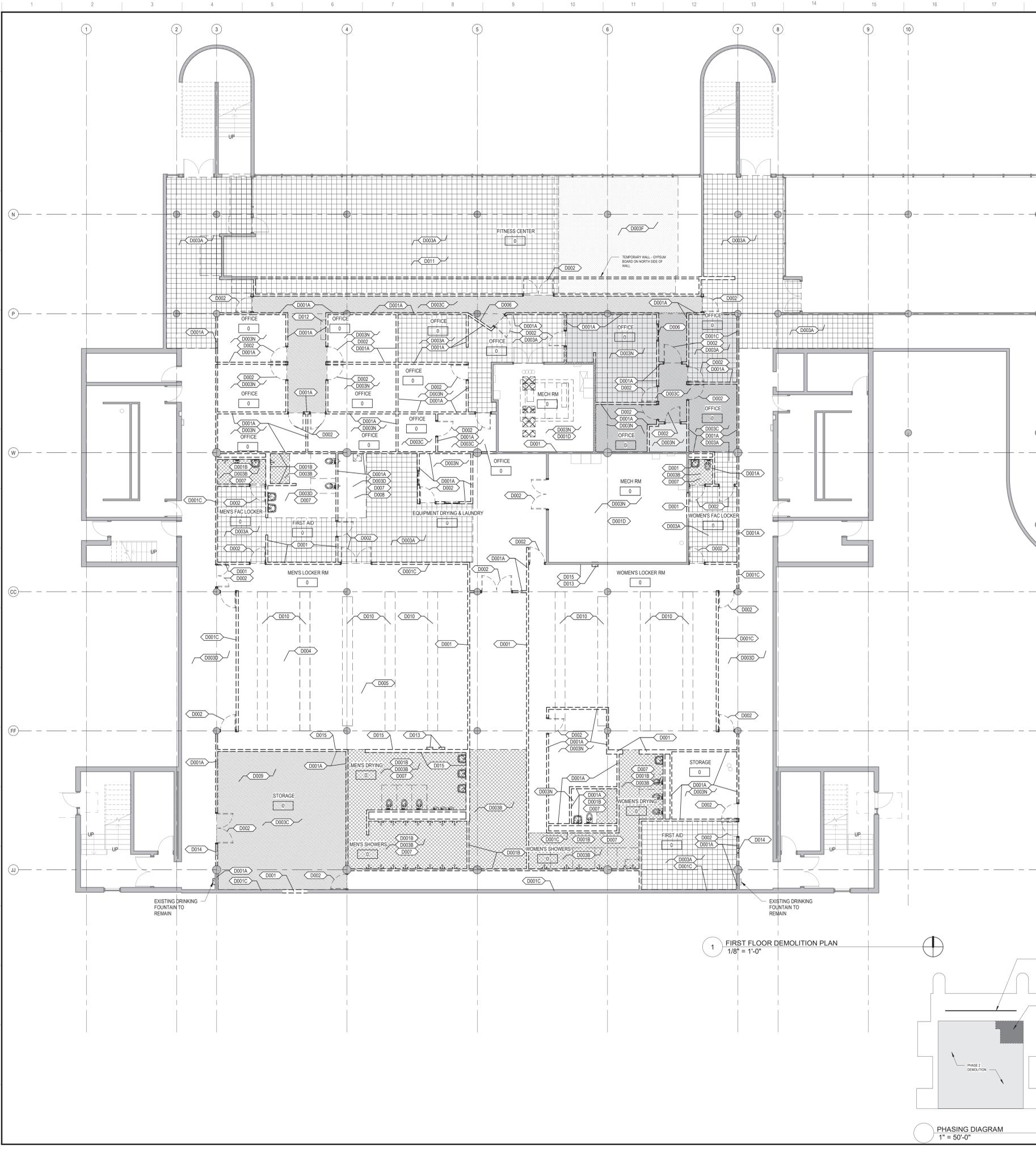
SIGNATURE _____
 DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: 220120.00
 DATE OF ISSUE: 06.28.21
 DRAWN BY: RM
 CHECKED BY: JRB

FOUNDATION SECTIONS & DETAILS

S-201



DEMOLITION NOTES	
NOTE	DESCRIPTION
001	REMOVE EXISTING WALLS AS INDICATED
001A	REMOVE EXPOSED METAL STUD PARTITION.
001B	REMOVE EXISTING CERAMIC WALL TILE, GROUT, AND WALL AS INDICATED
001C	REMOVED EXPOSED METAL STUD PARTITION AND SINGLE LAYER OF GYPSUM
001D	TAPE AND SAND OWNER INSTALLED GYPSUM ON MECHANICAL ROOM SIDE OF WALL. INSTALL NEW GYPSUM BOARD ON EXPOSED SIDE OF WALL.
002	REMOVE EXISTING HOLLOW METAL FRAMING WITH DOORS AND WINDOWS, INCLUDING ALL ANCHORS AND SUPPORTING BLOCKING.
03.01	DEMOLITION NOTE EXAMPLE
003A	REMOVE EXISTING CARPET FLOOR FINISH AND ADHESIVE WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET. PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003B	REMOVE EXISTING CERAMIC TILE FLOOR FINISH AND MORTAR BED WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CERAMIC TILE. PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003C	REMOVE EXISTING VCT FLOOR FINISH AND ADHESIVE WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED VCT. PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003D	REMOVE EXISTING POLISHED CONCRETE FLOOR FINISH WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CONCRETE. PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003E	REMOVE EXISTING RUBBER FLOOR FINISH WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED RUBBER. PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003N	PREPARE FLOOR FOR NEW FLOOR FINISH - SEE SHEET AF-101
004	REMOVE EXISTING FLOOR BASE AND ADHESIVE. PREPARE FLOOR AND WALL BASE SURFACES TO RECEIVE NEW RUBBER BASE AS INDICATED IN DRAWINGS
005	REMOVE EXISTING METAL LOCKERS
006	REMOVE EXISTING CASED TELLER WINDOW
007	REMOVE ALL EXISTING PLUMBING FIXTURES AND ASSOCIATED PARTITIONS.
008	REMOVE ALL EXISTING FLOOR DRAINS AND PIPE PENETRATIONS.
009	REMOVE LAUNDRY EQUIPMENT - SALVAGE TO OWNER
010	REMOVE EXISTING LOCKERS AND ASSOCIATED CONCRETE CURBS
011	REMOVE ALL EQUIPMENT IN THIS ROOM AND SALVAGE TO OWNER
012	REMOVE DISPLAY CABINET
013	REMOVE ELECTRIC WATER CHILLER - SALVAGE TO OWNER
014	REMOVE FEC - SALVAGE TO OWNER
015	REMOVE ANY ACCESSORIES ON WALL

DEMOLITION LEGEND - FLOOR PLAN	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED. REMOVAL OF GYPSUM BY OWNER. REMOVAL OF REMAINING METAL STUDS BY CONTRACTOR
	EXISTING DOORS TO REMAIN
	EXISTING DOORS TO BE DEMOLISHED
	FLOORING TO BE REMOVED - SEE <D003A>
	FLOORING TO BE REMOVED - SEE <D003B>
	FLOORING TO BE REMOVED - SEE <D003C>
	FLOORING TO BE REMOVED - SEE <D003F>
	PORTION OF WORK TO BE DEMOLISHED AFTER COMPLETION OF DISPATCH CENTER AND ITS ANCLLARY SPACES - SEE 1/A-101.
	PATCH ALL EXISTING COLUMNS

- DEMOLITION PLAN GENERAL NOTES**
- REFERENCED DEMOLITION NOTES REFER TO THE MINIMUM AMOUNT OF DEMOLITION REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. TRADE CONTRACTORS SHALL VISIT PROJECT SITE TO BECOME FAMILIAR WITH COMPLETE SCOPE OF REMOVALS/DEMOLITIONS AND FIELD VERIFY THE EXTENT OF DEMOLITION.
 - EXISTING DIMENSIONS AND HATCHED AREAS ARE FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD. THE ACTUAL AREA OF DEMOLITION SHOULD BE KEPT TO THE MINIMUM REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS.
 - IN THE EVENT THAT AN EXISTING ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM.
 - ALL UTILITIES SHALL REMAIN IN SERVICE FOR OTHER OCCUPANCIES. ANY SHUTDOWNS OF BUILDING MUST BE APPROVED BY OWNER AND OCCUR AT OFF HOURS AS DEFINED BY OWNER.
 - THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIAL OR EQUIPMENT IDENTIFIED TO BE REMOVED. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
 - REFER TO DRAWINGS FOR LOCATIONS OF ALL ITEMS TO BE REINSTALLED. ALL ITEMS NOT SPECIFICALLY INDICATED FOR REINSTALLATION ON DRAWINGS ARE TO BE TURNED OVER TO THE OWNER. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
 - ALL REMOVED ITEMS IDENTIFIED FOR REINSTALLATION OR TO BE TURNED OVER TO THE OWNER SHALL BE PROTECTED UNTIL TIME OF REINSTALLATION OR OWNER POSSESSION. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE RESPONSIBLE TRADE CONTRACTOR.
 - THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ITEMS SCHEDULED TO REMAIN AND/OR ALL ADJACENT MATERIALS AND EQUIPMENT, ETC. INDICATED TO REMAIN. COORDINATE REMOVAL AND PROTECTIONS WITH OWNER.
 - DO NOT COMMENCE WORK UNLESS OWNER HAS REMOVED ALL ARTWORK AND DISPLAYS FROM AREAS OF DEMOLITION.
 - COORDINATE WITH OWNER ACCESS AND LOCATIONS OF TEMPORARY PARTITION. TEMPORARY PARTITION MUST BE DUSTPROOF, AND ACT AS SMOKE AND FIRE BARRIER.
 - AT REMOVAL OF SELECTED DEMOLITION ITEMS WHERE NO NEW CONSTRUCTION IS IDENTIFIED, PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
 - AT ITEMS TO BE REMOVED, ALSO REMOVE ALL ASSOCIATED BRACKETS, SUPPORTS, FASTENERS, ANCHORS, ETC. PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
 - PATCH ALL CEILINGS, WALLS AND FLOORS WHERE MECHANICAL, ELECTRICAL, TECHNOLOGY, PLUMBING AND FIRE PROTECTION COMPONENTS ARE TO BE REMOVED IN AN EXISTING CEILING, WALLS OR FLOORS TO REMAIN.
 - ALL WALL DEMOLITION SHALL HAVE CLEAN, VERTICAL, SMOOTH CUTS. PATCH, REPLACE AND/OR FILL VOIDS IN WALLS TO PROVIDE A SMOOTH SURFACE/EDGE FOR THE APPLICATION OF NEW FINISH MATERIAL.
 - WHEN REMOVING EXISTING WALL TILE, FLOOR TILE, RUBBER BASE OR CEILING TILE, REMOVE FINISHES TO THE NEAREST JOINT WHICH ADJUTS TILE NOT AFFECTED BY THE CONSTRUCTION. PROTECT THE SURFACES AND EDGES OF EXISTING FINISHES TO REMAIN.
 - AT AREAS WHERE DEMOLITION OF THE FLOORING EXPOSES THE CONCRETE SUBSTRATE, COMPLETELY REMOVE THE MASTIC, SHOT BLAST THE EXISTING CONCRETE TO REMAIN, AND FILL ALL CRACKS AND SPALLED AREAS IN PREPARATION FOR NEW FLOORING MATERIAL. REMOVAL OF FLOORING MATERIAL INCLUDES REMOVAL OF ADJACENT WALL BASE MATERIAL.
 - AT IDENTIFIED AREAS OF SPALLED, UNEVEN AND/OR SEPARATED CONCRETE SLABS, REMOVE ALL LOOSE MATERIAL, GRIND CONCRETE TO ACHIEVE A LEVEL SURFACE AND FILL CRACKS AND SPALLED AREAS IN PREPARATION FOR INSTALLATION OF FINISHED FLOORING.
 - CONTRACTOR SHALL REMOVE EXISTING PLUMBING, MECHANICAL, ELECTRICAL OR OTHER MISCELLANEOUS ITEMS REQUIRED TO COMPLETE NEW WORK BUT NOT REQUIRED TO REMAIN.
 - WHEN REMOVING INTERIOR OR EXTERIOR WALL ASSEMBLIES, CONTRACTOR SHALL ALSO REMOVE ALL ASSOCIATED POWER AND DATA RECEPTACLES, SWITCHES, ETC. REROUTE CONCEALED MEPPF WHERE REQUIRED TO MAINTAIN FUNCTIONING SYSTEMS. REMOVE ABANDONED MEPPF SYSTEMS TO SOURCE AND CAP APPROPRIATELY. REFER TO MECHANICAL, ELECTRICAL, TECHNOLOGY, LOW VOLTAGE, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
 - CONTRACTOR SHALL REMOVE ALL DEBRIS AND TRASH RESULTING FROM CONSTRUCTION ON A DAILY BASIS.
 - GENERAL CONTRACTOR SHALL RECYCLE DEMOLITION CONSTRUCTION DEBRIS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND SUSTAINABLE BEST PRACTICES.
 - IN THE EVENT HAZARDOUS MATERIALS ARE UNCOVERED GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND THE APPROPRIATE AUTHORITIES. THE ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL/ABATEMENT OF HAZARDOUS MATERIALS. CONTRACTOR TO PROVIDE REMOVAL/ABATEMENT AT LOCATIONS NECESSARY.
 - REFER TO THE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, AND TECHNOLOGY DRAWINGS FOR THE DEMOLITION WORK SPECIFIC TO THOSE DISCIPLINES.
 - STRUCTURAL ITEMS SHOWN AS TO BE REMOVED ARE FOR REFERENCE ONLY. VERIFY APPROPRIATE SHORING OR REINFORCEMENT CONDITION WITH STRUCTURAL DRAWINGS.

LEGAT ARCHITECTS
DESIGN | PERFORMANCE | SUSTAINABILITY

JOLIET JUNIOR COLLEGE

CAMPUS POLICE RENOVATIONS

1215 Houbolt Road
Joliet, IL 60431

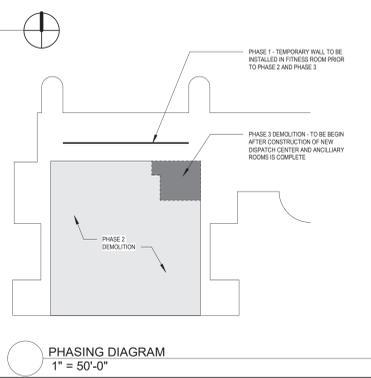
ARCHITECT
Legat Architects
2015 Spring Road, Suite 175
Oak Brook, IL, 60523
P: 630.990.3541
www.legat.com

CIVIL ENGINEER
RT&A Inc.
129 Capista Drive
Shorewood, IL 60404
P: 815.744.6600
www.ruetigertonnelli.com

STRUCTURAL ENGINEER
Pease Borst & Associates
18 Executive Court
South Barrington, IL 60010
P: 847.842.6930
www.peaseborst.com

MEP/FP ENGINEER
RTM Engineering Consultants
650 E. Algonquin, Suite 250
Schaumburg, IL 60173
P: 847.756.4180
www.rtmec.com

1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"



DEMOLITION KEY PLAN
1" = 200'-0"

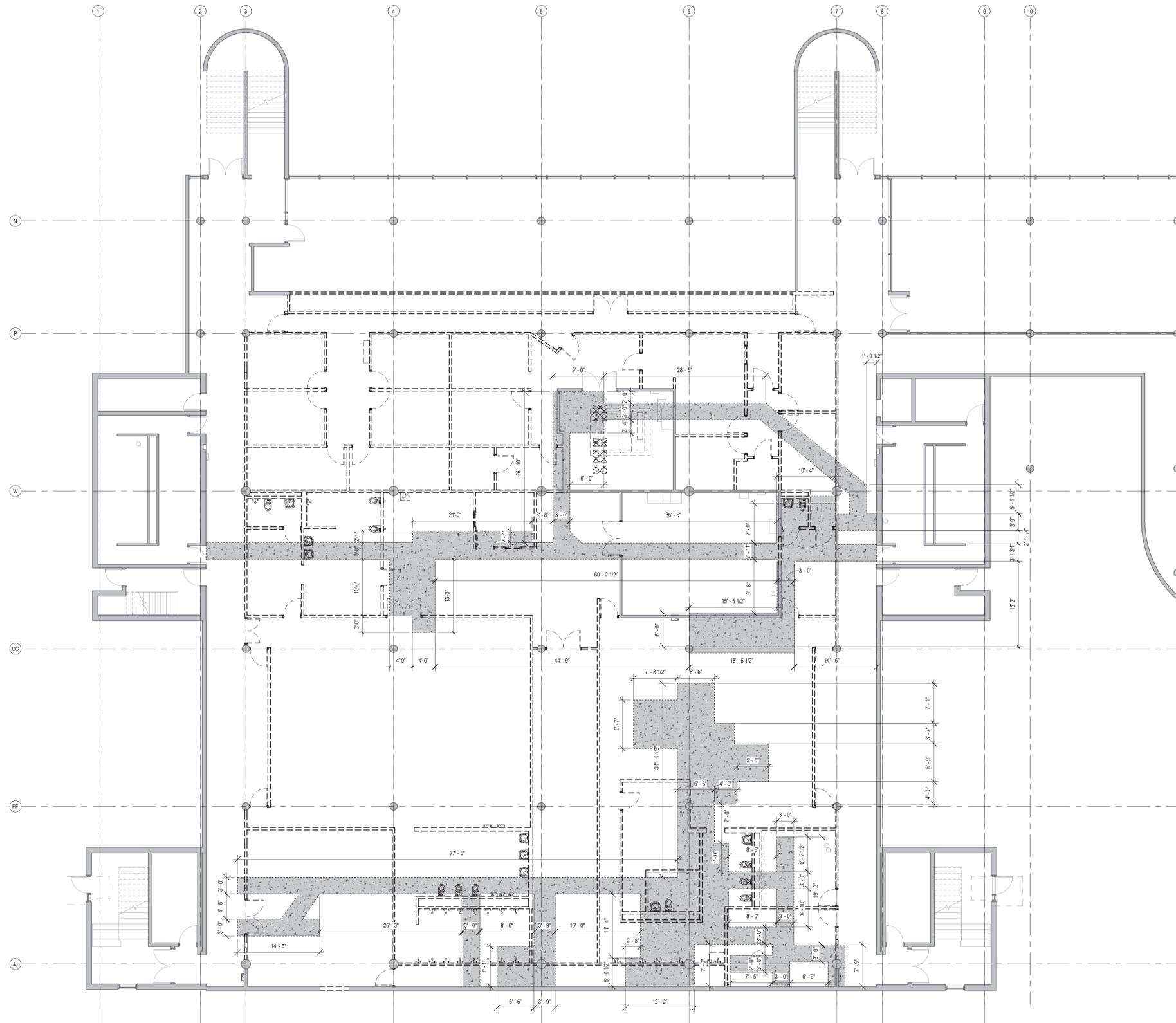
SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY AB/RJ
CHECKED BY JJ

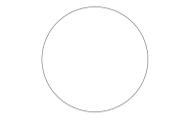
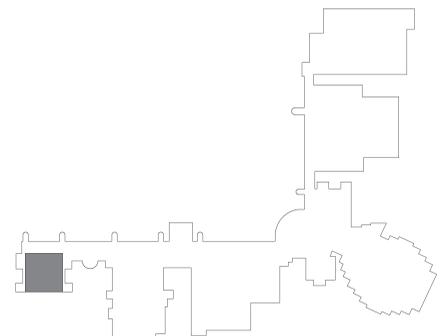
FIRST FLOOR
DEMOLITION PLAN

AD101
ISSUED FOR BIDDING



1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0" A-101A

KEY PLAN - BASE BID
1" = 200'-0"



SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY AB/RJ
CHECKED BY JJ

**CONCRETE CUTTING
PLAN**

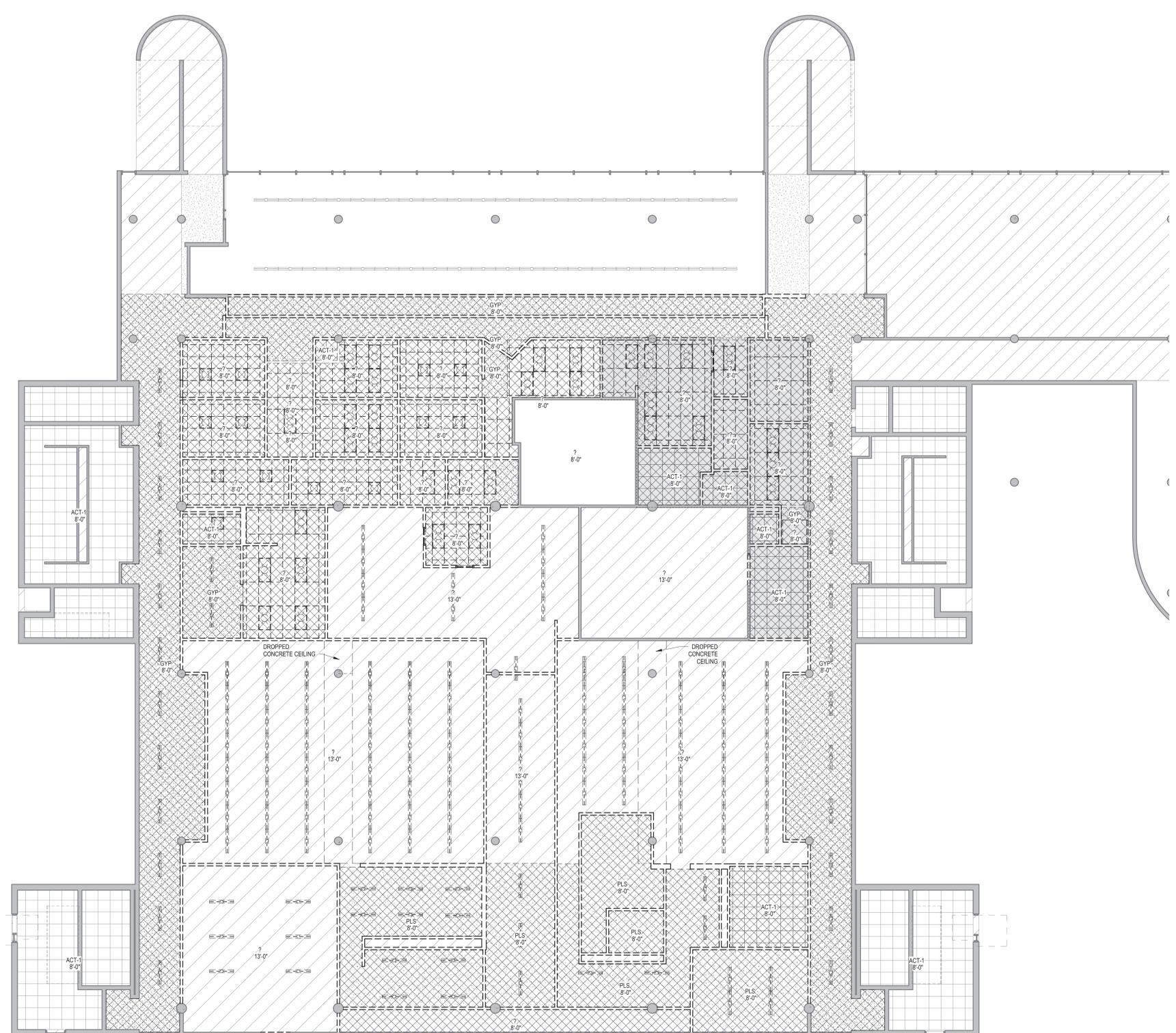
AD103
ISSUED FOR BIDDING

DEMOLITION NOTES (D#)	
NOTE	DESCRIPTION
001	REMOVE EXISTING WALLS AS INDICATED
001A	REMOVE EXPOSED METAL STUD PARTITION
001B	REMOVE EXISTING CERAMIC WALL TILE, GROUT, AND WALL AS INDICATED
001C	REMOVED EXPOSED METAL STUD PARTITION AND SINGLE LAYER OF GYPSUM
001D	TAPE AND SAND OWNER INSTALLED GYPSUM ON MECHANICAL ROOM SIDE OF WALL. INSTALL NEW GYPSUM BOARD ON EXPOSED SIDE OF WALL.
002	REMOVE EXISTING HOLLOW METAL FRAMING WITH DOORS AND WINDOWS, INCLUDING ALL ANCHORS AND SUPPORTING BLOCKING.
003	DEMOLITION NOTE EXAMPLE
003A	REMOVE EXISTING CARPET FLOOR FINISH AND ADHESIVE WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003B	REMOVE EXISTING CERAMIC TILE FLOOR FINISH AND MORTAR BED WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003C	REMOVE EXISTING VCT FLOOR FINISH AND ADHESIVE WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003D	REMOVE EXISTING POLISHED CONCRETE FLOOR FINISH WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003E	REMOVE EXISTING RUBBER FLOOR FINISH WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003N	PREPARE FLOOR FOR NEW FLOOR FINISH - SEE SHEET AF101
004	REMOVE EXISTING FLOOR BASE AND ADHESIVE - PREPARE FLOOR AND WALL BASE SURFACES TO RECEIVE NEW RUBBER BASE AS INDICATED IN DRAWINGS.
005	REMOVE EXISTING METAL LOCKERS
006	REMOVE EXISTING CASED TELLER WINDOW
007	REMOVE ALL EXISTING PLUMBING FIXTURES AND ASSOCIATED PARTITIONS
008	REMOVE ALL EXISTING FLOOR DRAINS AND PIPE PENETRATIONS
009	REMOVE LAUNDRY EQUIPMENT - SALVAGE TO OWNER
010	REMOVE EXISTING LOCKERS AND ASSOCIATED CONCRETE CURBS
011	REMOVE ALL EQUIPMENT IN THIS ROOM AND SALVAGE TO OWNER
012	REMOVE DISPLAY CABINET
013	REMOVE ELECTRIC WATER CHILLER - SALVAGE TO OWNER
014	REMOVE FEE - SALVAGE TO OWNER
015	REMOVE ANY ACCESSORIES ON WALL

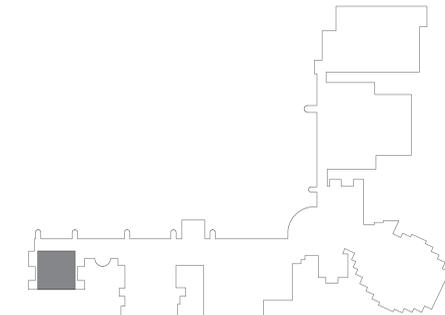
DEMOLITION LEGEND - REFLECTED CEILING PLAN	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED, REMOVAL OF GYPSUM BY OWNER, REMOVAL OF REMAINING METAL STUDS BY CONTRACTOR
	2X4 ACT TO BE REMOVED
	2X2 ACT TO BE REMOVED
	GYPSUM BOARD REMOVED BY OTHERS, N.I.C.
	PORTION OF WORK TO BE DEMOLISHED AFTER COMPLETION OF DISPATCH CENTER AND ITS ANCILLARY SPACES - SEE 10A-101.
	2X4 LIGHT FIXTURE TO BE REMOVED
	2X2 LIGHT FIXTURE TO BE REMOVED
	CEILING MOUNTED LIGHT FIXTURE TO BE REMOVED

DEMOLITION PLAN GENERAL NOTES

- REFERENCED DEMOLITION NOTES REFER TO THE MINIMUM AMOUNT OF DEMOLITION REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. TRADE CONTRACTORS SHALL VISIT PROJECT SITE TO BECOME FAMILIAR WITH COMPLETE SCOPE OF REMOVALS/DEMOLITIONS AND FIELD VERIFY THE EXTENT OF DEMOLITION.
- EXISTING DIMENSIONS AND HATCHED AREAS ARE FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD. THE ACTUAL AREA OF DEMOLITION SHOULD BE KEPT TO THE MINIMUM REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS.
- IN THE EVENT THAT AN EXISTING ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM.
- ALL UTILITIES SHALL REMAIN IN SERVICE FOR OTHER OCCUPANCIES. ANY SHUTDOWNS OF BUILDING MUST BE APPROVED BY OWNER AND OCCUR AT OFF HOURS AS DEFINED BY OWNER.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIAL OR EQUIPMENT IDENTIFIED TO BE REMOVED. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
- REFER TO DRAWINGS FOR LOCATIONS OF ALL ITEMS TO BE REINSTALLED. ALL ITEMS NOT SPECIFICALLY INDICATED FOR REINSTALLATION ON DRAWINGS ARE TO BE TURNED OVER TO THE OWNER. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
- ALL REMOVED ITEMS IDENTIFIED FOR REINSTALLATION OR TO BE TURNED OVER TO THE OWNER SHALL BE PROTECTED UNTIL TIME OF REINSTALLATION OR OWNER POSSESSION. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE RESPONSIBLE TRADE CONTRACTOR.
- THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ITEMS SCHEDULED TO REMAIN AND/OR ALL ADJACENT MATERIALS AND EQUIPMENT, ETC. INDICATED TO REMAIN. COORDINATE REMOVAL AND PROTECTIONS WITH OWNER.
- DO NOT COMMENCE DEMOLITION UNTIL OWNER HAS REMOVED ALL ARTWORK AND DISPLAYS FROM AREAS OF DEMOLITION.
- COORDINATE WITH OWNER ACCESS AND LOCATIONS OF TEMPORARY PARTITION. TEMPORARY PARTITION MUST BE DUSTPROOF, AND ACT AS SMOKE AND FIRE BARRIER.
- AT REMOVAL OF SELECTED DEMOLITION ITEMS WHERE NO NEW CONSTRUCTION IS IDENTIFIED, PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
- AT ITEMS TO BE REMOVED, ALSO REMOVE ALL ASSOCIATED BRACKETS, SUPPORTS, FASTENERS, ANCHORS, ETC. PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
- PATCH ALL CEILINGS, WALLS AND FLOORS WHERE MECHANICAL, ELECTRICAL, TECHNOLOGY, PLUMBING AND FIRE PROTECTION COMPONENTS ARE TO BE REMOVED IN AN EXISTING CEILINGS, WALLS OR FLOORS TO REMAIN.
- ALL WALL DEMOLITION SHALL HAVE CLEAN, VERTICAL, SMOOTH CUTS. PATCH, REPLACE AND/OR FILL VOIDS IN WALLS TO REMAIN TO PROVIDE A SMOOTH SURFACE/EDGE FOR THE APPLICATION OF NEW FINISH MATERIAL.
- WHEN REMOVING EXISTING WALL TILE, FLOOR TILE, RUBBER BASE OR CEILING TILE, REMOVE FINISHES TO THE NEAREST JOINT WHICH ABUTS TILE NOT AFFECTED BY THE CONSTRUCTION. PROTECT THE SURFACES AND EDGES OF EXISTING FINISHES TO REMAIN.
- AT AREAS WHERE DEMOLITION OF THE FLOORING EXPOSES THE CONCRETE SUBSTRATE, COMPLETELY REMOVE THE MASTIC, SHOT BLAST THE EXISTING CONCRETE TO REMAIN, AND FILL ALL CRACKS AND SPALLED AREAS IN PREPARATION FOR NEW FLOORING MATERIAL. REMOVAL OF FLOORING MATERIAL INCLUDES REMOVAL OF ADJACENT WALL BASE MATERIAL.
- AT IDENTIFIED AREAS OF SPALLED, UNFINISHED AND/OR SEPARATED CONCRETE SLABS, REMOVE ALL LOOSE MATERIAL, GRIND CONCRETE TO ACHIEVE A LEVEL SURFACE AND FILL CRACKS AND SPALLED AREAS IN PREPARATION FOR INSTALLATION OF FINISHED FLOORING.
- CONTRACTOR SHALL REMOVE EXISTING PLUMBING, MECHANICAL, ELECTRICAL OR OTHER MISCELLANEOUS ITEMS REQUIRED TO COMPLETE NEW WORK BUT NOT REQUIRED TO REMAIN.
- WHEN REMOVING INTERIOR OR EXTERIOR WALL ASSEMBLIES, CONTRACTOR SHALL ALSO REMOVE ALL ASSOCIATED POWER AND DATA RECEPTACLES, SWITCHES, ETC. RELOCATE CONCEALED MEPPF WHERE REQUIRED TO MAINTAIN FUNCTIONING SYSTEMS. REMOVE ABANDONED MEPPF SYSTEMS TO SOURCE AND CAP APPROPRIATELY. REFER TO MECHANICAL, ELECTRICAL, TECHNOLOGY, LOW VOLTAGE, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL REMOVE ALL DEBRIS AND TRASH RESULTING FROM CONSTRUCTION ON A DAILY BASIS.
- GENERAL CONTRACTOR SHALL RECYCLE DEMOLITION CONSTRUCTION DEBRIS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND SUSTAINABLE BEST PRACTICES.
- IN THE EVENT HAZARDOUS MATERIALS ARE UNCOVERED GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND THE APPROPRIATE AUTHORITIES. THE ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL, ABATEMENT OF HAZARDOUS MATERIALS. CONTRACTOR TO PROVIDE REMOVAL, ABATEMENT AT LOCATIONS NECESSARY.
- REFER TO THE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, AND TECHNOLOGY DRAWINGS FOR THE DEMOLITION WORK SPECIFIC TO THOSE DISCIPLINES.
- STRUCTURAL ITEMS SHOWN AS TO BE REMOVED ARE FOR REFERENCE ONLY. VERIFY APPROPRIATE SHORING OR REINFORCEMENT CONDITION WITH STRUCTURAL DRAWINGS.



1 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
1/8" = 1'-0"



KEY PLAN - BASE BID
1" = 200'-0"

SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER	220120.00
DATE OF ISSUE	06.28.21
DRAWN BY	AB/RJ
CHECKED BY	JJ

FIRST FLOOR
REFLECTED CEILING
DEMOLITION PLAN

AD201
ISSUED FOR BIDDING

JOLIET JUNIOR COLLEGE

CAMPUS POLICE RENOVATIONS

1215 Houbold Road
Joliet, IL 60431

ARCHITECT
Legat Architects

2015 Spring Road, Suite 175
Oak Brook IL, 60523
P: 630.990.3541
www.legat.com

CIVIL ENGINEER
RT&A Inc.

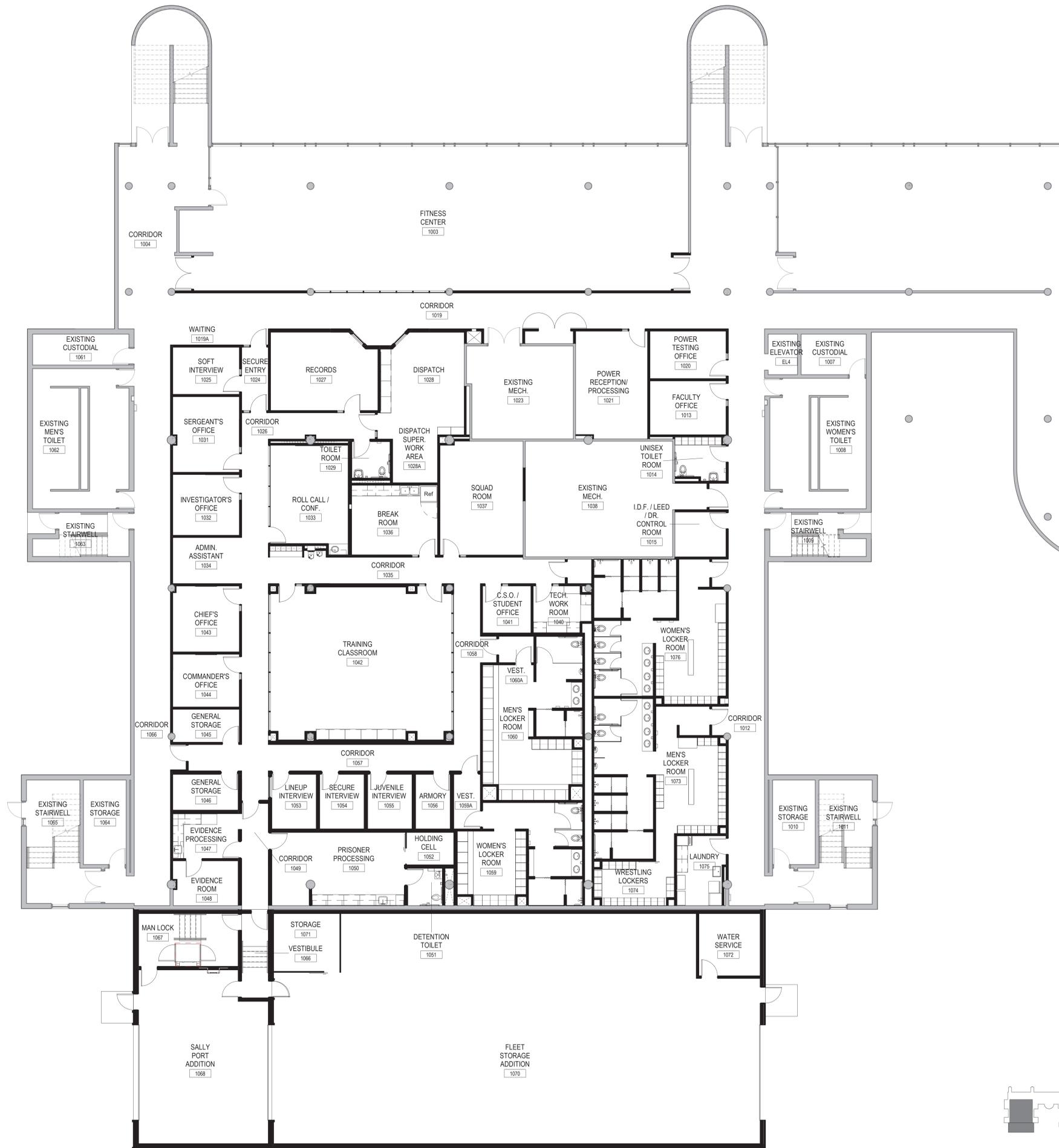
129 Capista Drive
Shorewood, IL 60404
P: 815.744.6600
www.ruettigertonnelli.com

STRUCTURAL ENGINEER
Pease Borst & Associates

18 Executive Court
South Barrington, IL 60010
P: 847.842.6930
F: 847.842.6935
www.peaseborst.com

ME/P/EP ENGINEER
RTM Engineering
Consultants

650 E. Algonquin, Suite 250
Schaumburg, IL 60173
P: 847.756.4180
www.rtmec.com



1 OVERALL FLOOR PLAN
1/8" = 1'-0"

ALTERNATE #1 - SEE SHEET A-101A

ALTERNATE #2 - SEE SHEET A-101B

KEY PLAN - OVERALL
1" = 200'-0"

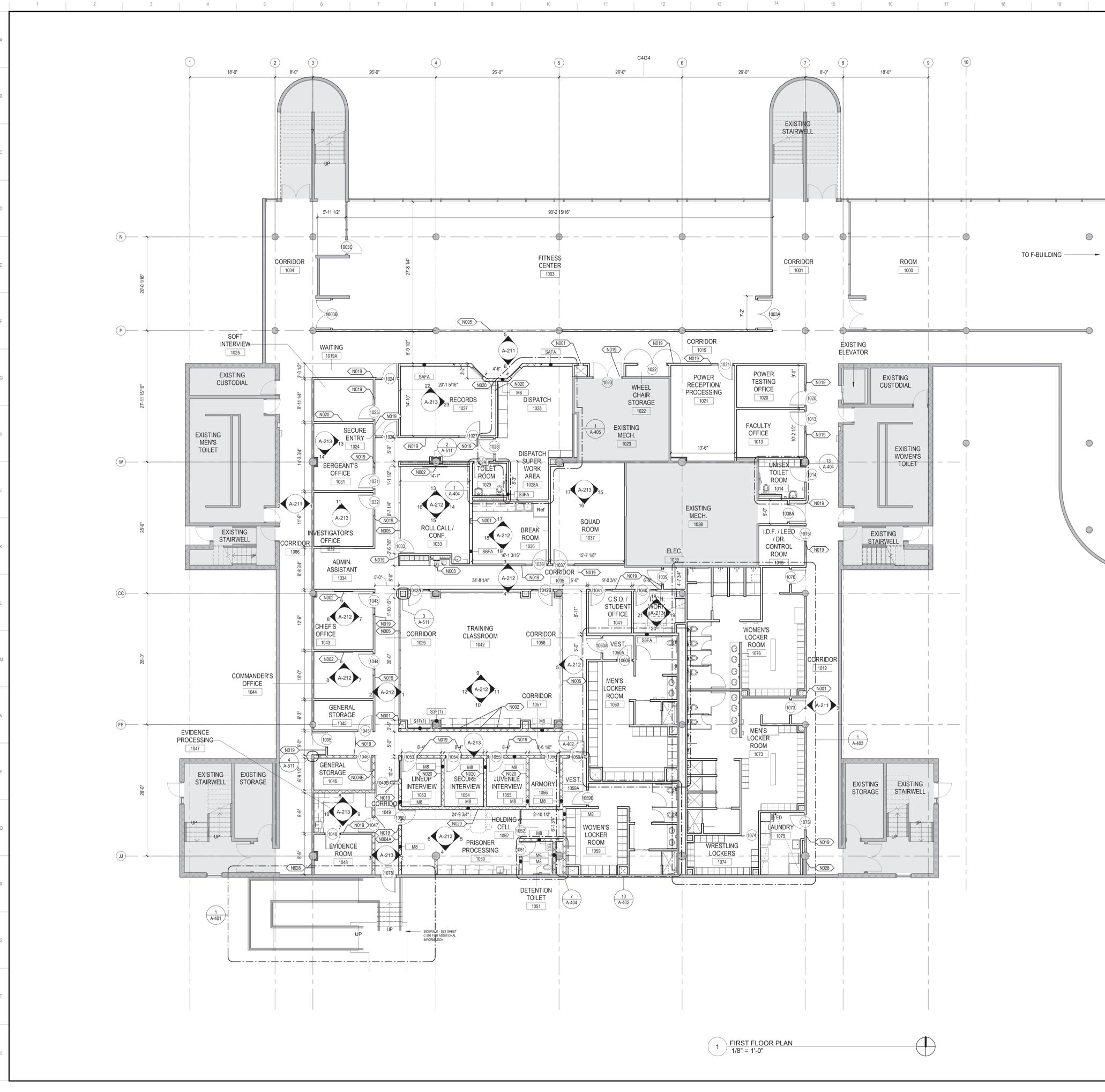
SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY AB/RJ
CHECKED BY JJ

OVERALL REFERENCE PLAN

A-011
ISSUED FOR BIDDING



WALL TYPE LEGEND

- ALL WALLS SHALL BE 3-5/8" METAL STUDS AT 16" O.C. WITH (1) ONE LAYER 5/8" GYPSUM BOARD EACH SIDE WITH ACoustICAL BATT INSULATION UNLESS OTHERWISE NOTED
- MB: DECORATIVE GROUND FACE CONCRETE BLOCK
- MB: DECORATIVE GROUND FACE CONCRETE BLOCK (6" NOM.)
- MB: DECORATIVE GROUND FACE CONCRETE BLOCK (4" NOM.)
- SFA: 3-5/8" METAL STUDS AT 16" O.C. WITH 1-1/2" SOUND ISOLATION CLIPS WITH (1) ONE LAYER 5/8" GYPSUM BOARD ON ONE SIDE AND (2) TWO LAYERS 5/8" GYPSUM BOARD ON THE OTHER

FLOOR PLAN LEGEND

- 1 A101: DETAIL SECTION TAG
- 1 A101: BUILDING & WALL SECTION TAG
- SFA: WALL TYPE - REFER TO A-611 FOR WALL TYPES
- 101: DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE
- ROOM NAME AND NUMBER: ROOM NAME AND NUMBER
- A101: INTERIOR ELEVATION TAG
- A101: EXTERIOR ELEVATION TAG
- 0: COLUMN TAG AND COLUMN CENTERLINE
- A101: STOREFRONT CURTAIN WALL AND WINDOW ELEVATION
- CG: CORNER GUARD - REFER TO DETAIL
- FE: FIRE EXTINGUISHER - WALL MOUNTED
- FEC: RECESSED FIRE EXTINGUISHER AND CABINET
- FEC-R: FIRE RATED RECESSED FIRE EXTINGUISHER AND CABINET
- FEC: SEMI-RECESSED FIRE EXTINGUISHER AND CABINET
- FEC-B: SEMI-RECESSED FIRE EXTINGUISHER AND CABINET AND BLANKET
- MB#: MARKER BOARD
- TB#: TACK BOARD
- FD: FLOOR DRAIN
- AREA NOT IN CONTRACT
- NEW: NEW WORK NOTE

ARCHITECTURAL PLAN NOTES

NOTE	DESCRIPTION
N001	FULLY RECESSED FEC
N002	WALL MOUNTED MONITOR, PROVIDE ELECTRICAL AND IN WALL BACKING
N003	HIGH LOW DRINKING FOUNTAIN
N004	FULLY RECESSED HAND GUN LOCKERS - 4 COUNT - PROVIDED BY OWNER
N004B	FULLY RECESSED HAND GUN LOCKERS - 6 COUNT - PROVIDED BY OWNER
N005	STOREFRONT SYSTEM WITH GLAZING FILM
N006	PREMANUFACTURED SINGLE TIER LOCKERS - SEE SPECS
N007	PREMANUFACTURED DOUBLE TIER LOCKERS - SEE SPECS
N008	BENCH OVER DRAWER SYSTEM
N009	ACCESSIBLE BENCH - REFER TO SPEC.
N010	FREESTANDING BENCH
N011	PAPER TOWEL DISPENSER
N012	SHOWER CURTAIN
N013	2X4 MIRROR
N015	COUNTERTOP WITH 4" BACKSLASH
N016	GUN BELT HOOK - PROVIDE BLOCKING AS NECESSARY
N017	WASHING MACHINE - PROVIDED BY OWNER
N018	DRYER - PROVIDED BY OWNER
N019	CARD READER
N020	PANIC BUTTON
N022	FULLY RECESSED AED CABINET
N023	FOLDING UTILITY SHELF - SHELF SURFACE TO BE 48" ABOVE F.F. WHEN IN USE. PROVIDE BLOCKING AS NECESSARY.
N024	WHITE BOARD SURFACE WITH ALUMINUM TRIM
N025	PASS-THROUGH EVIDENCE LOCKER - SEE SPECIFICATIONS. PROVIDE OPENING IN WALL TO ACCOMMODATE.
N026	CEILING MOUNTED PROJECTOR - SEE ELECTRICAL DRAWINGS.
N027	TACK SURFACE WITH ALUMINUM TRIM
N028	PROVIDE NEW GYPSUM
N029	SCHEDULED BASE - SEE SHEETS AF101 AND AF101A
N030	ROOF LADDER - SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION
N031	ICE MACHINE BY OWNER
N032	SERVICE SINK
N033	WHEELCHAIR LIFT

LEGAT ARCHITECTS
DESIGN | PERFORMANCE | SUSTAINABILITY

JOLIET JUNIOR COLLEGE

CAMPUS POLICE RENOVATIONS

1215 Houbolt Road
Joliet, IL 60431

ARCHITECT
Legat Architects
2015 Spring Road, Suite 175
Oak Brook, IL, 60523
P: 630.990.3541
www.legat.com

CIVIL ENGINEER
RT&A Inc.
129 Capista Drive
Shorewood, IL 60404
P: 815.744.6600
www.ruettigertonnell.com

STRUCTURAL ENGINEER
Pease Borst & Associates
18 Executive Court
South Barrington, IL 60010
P: 847.842.6930
P: 847.842.6935
www.peaseborst.com

ME/P/FP ENGINEER
RTM Engineering Consultants
650 E. Algonquin, Suite 250
Schaumburg, IL 60173
P: 847.756.4180
www.rtmec.com

SIGNATURE _____
DATE _____

REVISIONS

NO.	DESCRIPTION	DATE

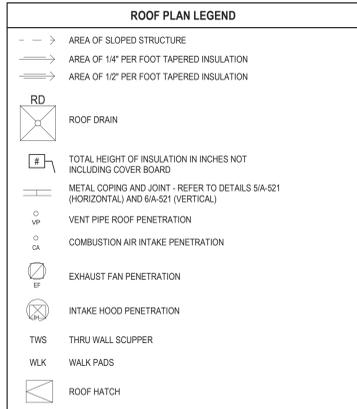
PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY AB/RJ
CHECKED BY JJ

FIRST FLOOR PLAN

A-101
ISSUED FOR BIDDING

1 FIRST FLOOR PLAN
1/8" = 1'-0"

KEY PLAN - BASE BID
1" = 200'-0"



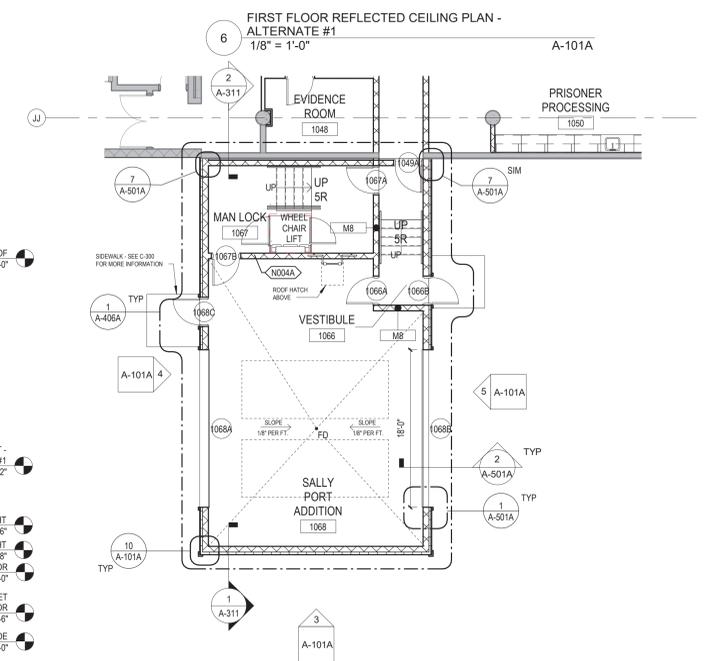
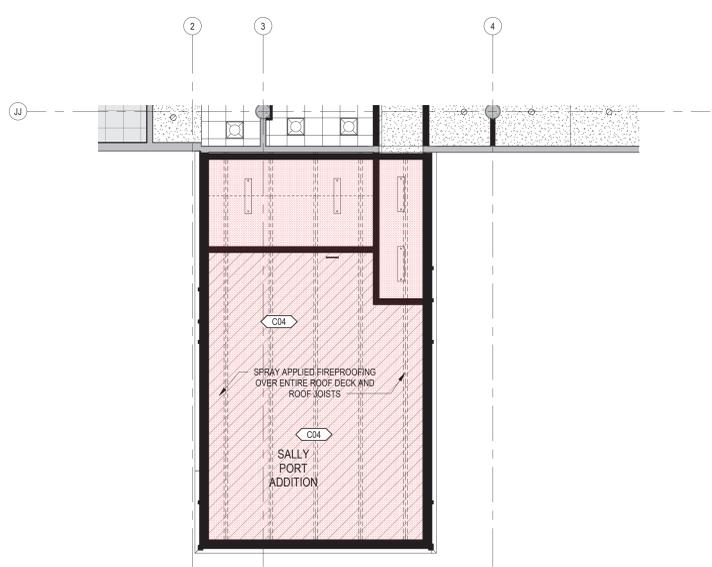
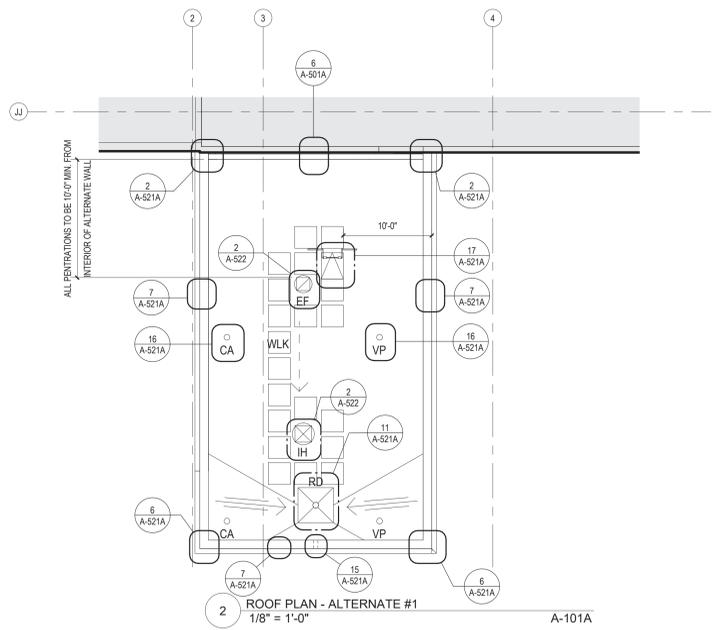
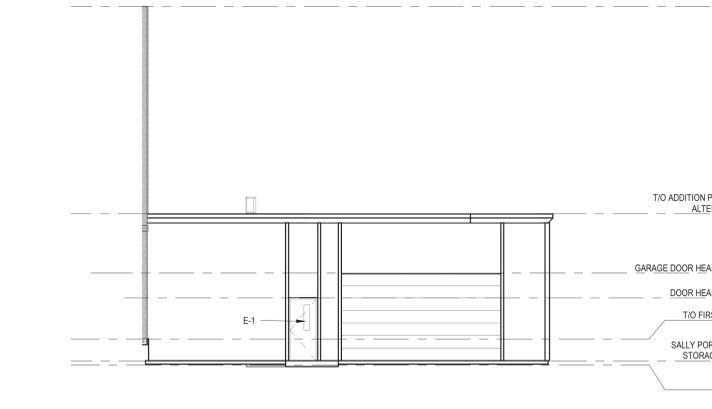
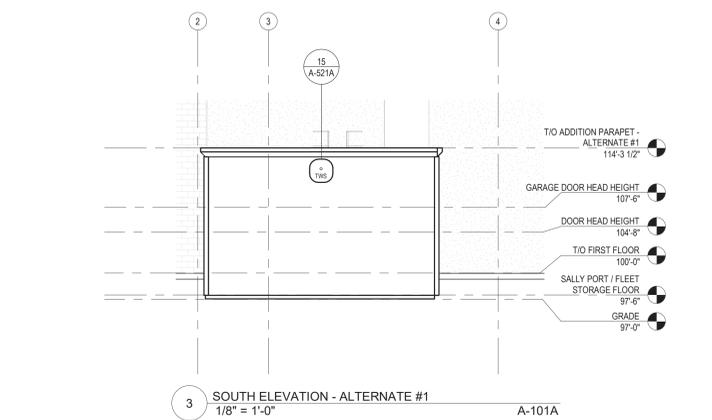
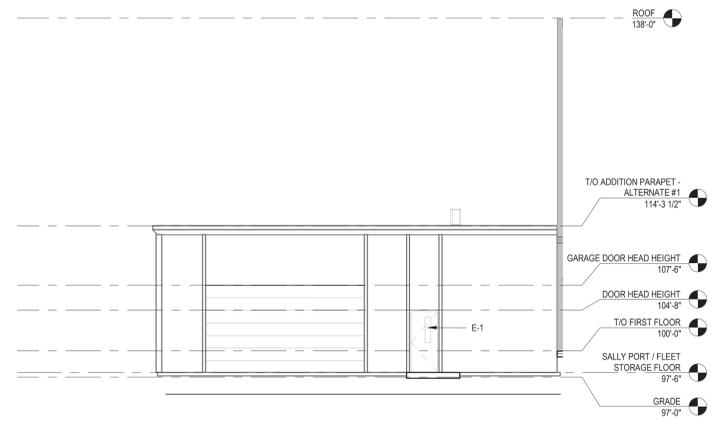
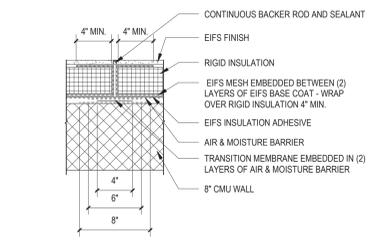
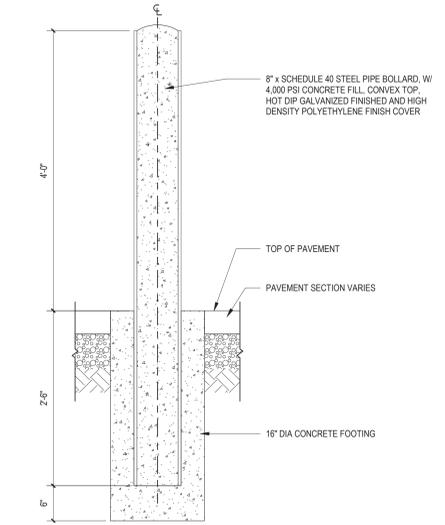
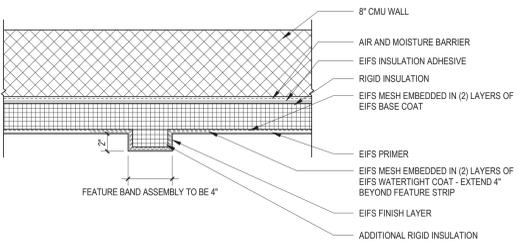
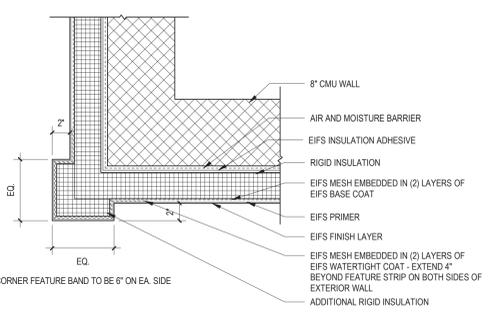
- GENERAL ROOF NOTES**
- ALL INSULATION JOINTS, HORIZONTAL AND VERTICAL, ARE TO BE STAGGERED.
 - ALL INSULATION JOINTS GREATER THAN 1/4" ARE TO BE FILLED W/ INSULATION STRIPS.
 - ALL ROOF PENETRATIONS, INCLUDING VENT STACKS, ROOF CURBS, AND PIPE SUPPORT CURBS ARE TO BE A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE SURFACE.
 - FIELD VERIFY ALL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS INCLUDING TAPERED INSULATION DRAWINGS W/ ALL DRAIN LOCATIONS.
 - ALL COUNTERFLASHING, COPING, AND MISC. METAL FLASHING PIECES ARE TO HAVE SEALANT APPLIED AT THEIR END CONDITIONS.
 - ALL EXPOSED FASTENERS TO BE CORROSION RESISTIVE, HAVE NEOPRENE WASHERS, AND BE COVERED W/ SEALANT FOLLOWING ARCHITECT'S APPROVAL.
 - APPLY MEMBRANE MANUFACTURER'S SEALANT OVER FASTENER HEADS AT BASE FLASHING SECUREMENT.
 - DRAINS TO BE FLASHED AS PER MANUFACTURER'S SPECIFICATIONS.
 - PROVIDE COUNTERFLASHING FOR ALL VERTICAL FLANGES ON ENDWALL FLASHING PIECES.
 - WHEN CONDITIONS REQUIRE END WALL FLASHING TO BE INSTALLED, COORDINATE INSTALLATION SO THAT END WALL FLASHING AND COUNTERFLASHING COVERING IT ARE NOT DOUBLE FASTENED - ONLY ONE FASTENER IS REQUIRED TO SECURE BOTH PIECES.
 - SCREW FASTENERS FOR INSULATION ARE TO BE INSTALLED THROUGH TOP FLUTES OF METAL DECK ONLY.
 - ALL WOOD BLOCKING TO BE MITERED AND SCREWED, UNLESS NOTED OTHERWISE.
 - ALL COPING JOINTS TO ALIGN WITH CENTER OF METAL PANEL JOINTS AND MILLIONS, UNLESS NOTED OTHERWISE.
 - REFER TO "ROOF PLAN LEGEND" ON SHEET A/R01.

- ROOF PLAN FLASHING NOTES**
- ALL FLASHING FLANGES ARE TO BE SET IN SEALANT.
 - ISOMETRIC DRAWINGS ARE DIAGRAMMATIC.
 - FOLLOWING INSTALLATION OF THE FLASHING, APPLY SEALANT TO ALL EXPOSED LEADING EDGES.
 - ALL SCREW ANCHOR LOCATIONS TO HAVE PRE-DRILLED 3/16" PILOT HOLES. NON-EXPOSED SCREW ANCHORS INTO WOOD TO BE NO. 14 X 1-1/2 LONG 18-8 AUSTENITIC STAINLESS STEEL TYPE 304 (PAINT) SCREW.
 - EXPOSED SCREW ANCHORS INTO WOOD TO BE NO. 14 X 1-1/2 LONG 18-8 AUSTENITIC STAINLESS STEEL TYPE 304 PAINT SCREW.
 - NON-EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" STAINLESS STEEL SELF TAPPING SCREW FASTENERS.
 - EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" STAINLESS STEEL SELF TAPPING SCREW FASTENERS WITH CLIMATEAL CORROSION RESISTIVE COATING AND NEOPRENE WASHERS.
 - EXPOSED SCREW FASTENERS INTO SHEET METAL TO BE 3/4" X 1/4" TKS 1 WITH NEOPRENE WASHERS.
 - FIELD VERIFY ALL CONDITIONS PRIOR TO FABRICATION.
 - ALL EXPOSED SCREW FASTENERS ARE TO BE COVERED WITH SEALANT UNLESS NOTED OTHERWISE.

- ROOF CONSTRUCTION NOTES**
- ROOF AREA - ALTERNATE #1 (1189 SF)**
- METAL DECK
- INSTALL MECHANICALLY FASTENED DECK SHEATHING.
 - INSTALL TEMPORARY ROOF VAPOR BARRIER, WRAP OVER PARAPET. TEMPORARY ROOF TO BE INSPECTED PRIOR TO INSTALLATION OF NEW ROOFING. CONTRACTOR TO PATCH TEMPORARY ROOF AS REQUIRED AFTER INSPECTION.
 - INSTALL TWO LAYERS OF 24 RIGID POLYISOCYANURATE INSULATION (R34 MINIMUM), STAGGER JOINTS, SET IN INSULATION ADHESIVE.
 - INSTALL TAPERED RIGID INSULATION AND SADDLES, SET IN INSULATION ADHESIVE.
 - INSTALL COVER BOARD, SET IN INSULATION ADHESIVE.
 - INSTALL FULLY-ADHERED WHITE EPDM MEMBRANE ROOFING.
 - INSTALL PREFINISHED METAL COPINGS, ENDWALL FLASHINGS, COUNTERFLASHINGS.

ARCHITECTURAL PLAN NOTES

NOTE	DESCRIPTION
N001	FULLY RECESSED FEC
N002	WALL MOUNTED MONITOR, PROVIDE ELECTRICAL AND IN WALL BACKING
N003	HIGH LOW DRINKING FOUNTAIN
N004A	FULLY RECESSED HAND GUN LOCKERS - 4 COUNT - PROVIDED BY OWNER
N004B	FULLY RECESSED HAND GUN LOCKERS - 6 COUNT - PROVIDED BY OWNER
N005	STOREFRONT SYSTEM WITH GLAZING FILM
N006	PREFABRICATED SINGLE TIER LOCKERS - SEE SPECS
N007	PREFABRICATED DOUBLE TIER LOCKERS - SEE SPECS
N008	BENCH OVER DRAWER SYSTEM
N009	ACCESSIBLE BENCH - REFER TO SPEC.
N010	FREESTANDING BENCH
N011	PAPER TOWEL DISPENSER
N012	SHOWER CURTAIN
N013	24" MIRROR
N015	COUNTERTOP WITH 4" BACKSPASH
N016	GUN BELT HOOK - PROVIDE BLOCKING AS NECESSARY
N017	WASHING MACHINE - PROVIDED BY OWNER
N018	DRYER - PROVIDED BY OWNER
N019	CARD READER
N020	PANIC BUTTON
N022	FULLY RECESSED AED CABINET
N023	FOLDING UTILITY SHELF - SHELF SURFACE TO BE 48" ABOVE F.F. WHEN IN USE. PROVIDE BLOCKING AS NECESSARY.
N024	WHITE BOARD SURFACE WITH ALUMINUM TRIM
N025	PASS-THROUGH EVIDENCE LOCKER - SEE SPECIFICATIONS. PROVIDE OPENING IN WALL TO ACCOMMODATE.
N026	CEILING MOUNTED PROJECTOR - SEE ELECTRICAL DRAWINGS.
N027	TACK SURFACE WITH ALUMINUM TRIM
N028	PROVIDE NEW GYPSUM
N029	SCHEDULED BASE - SEE SHEETS A/101 AND A/101A
N030	ROOF LADDER - SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION
N031	ICE MACHINE - PROVIDED BY OWNER
N032	SERVICE SINK
N033	WHEELCHAIR LIFT



SIGNATURE
DATE

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY AB/RJ
CHECKED BY JJ

FIRST FLOOR PLAN - ALTERNATE #1

A-101A
ISSUED FOR BIDDING

ARCHITECT

Legat Architects

2015 Spring Road, Suite 175
Oak Brook, IL, 60523
P: 630.990.3541
www.legat.com

CIVIL ENGINEER

RT&A Inc.

129 Capista Drive
Shorewood, IL, 60404
P: 815.744.5600
www.ruettigerdonelli.com

STRUCTURAL ENGINEER

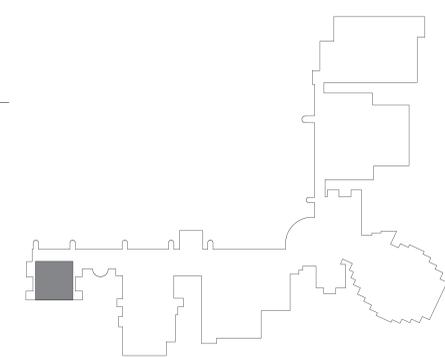
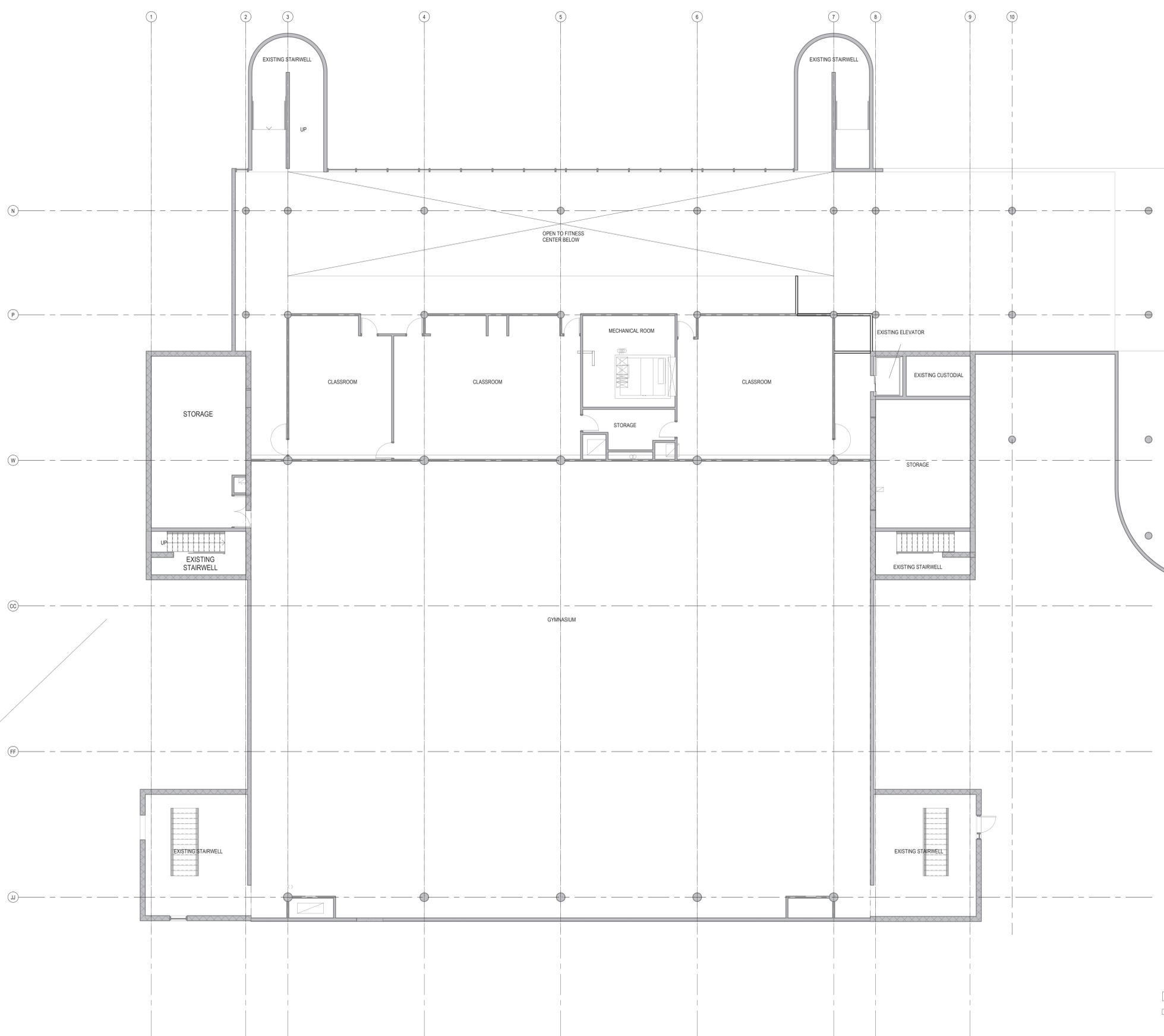
Pease Borst & Associates

18 Executive Court
South Barrington, IL 60010
P: 847.842.6930
F: 847.842.6935
www.peaseborst.com

M/E/P ENGINEER

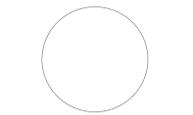
**RTM Engineering
Consultants**

650 E. Algonquin, Suite 250
Schaumburg, IL 60173
P: 847.756.4180
www.rtmec.com



1 SECOND FLOOR PLAN (FOR REFERENCE ONLY)
1/8" = 1'-0"
NOTE: THIS DRAWING ONLY PROVIDED AS A REFERENCE FOR MECHANICAL WORK
REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

KEY PLAN - BASE BID
1" = 200'-0"



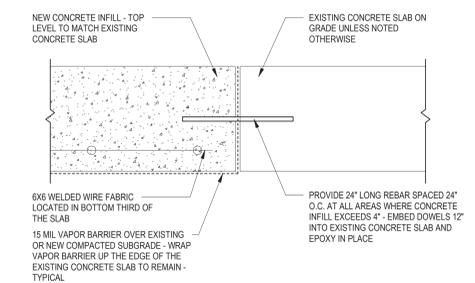
SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

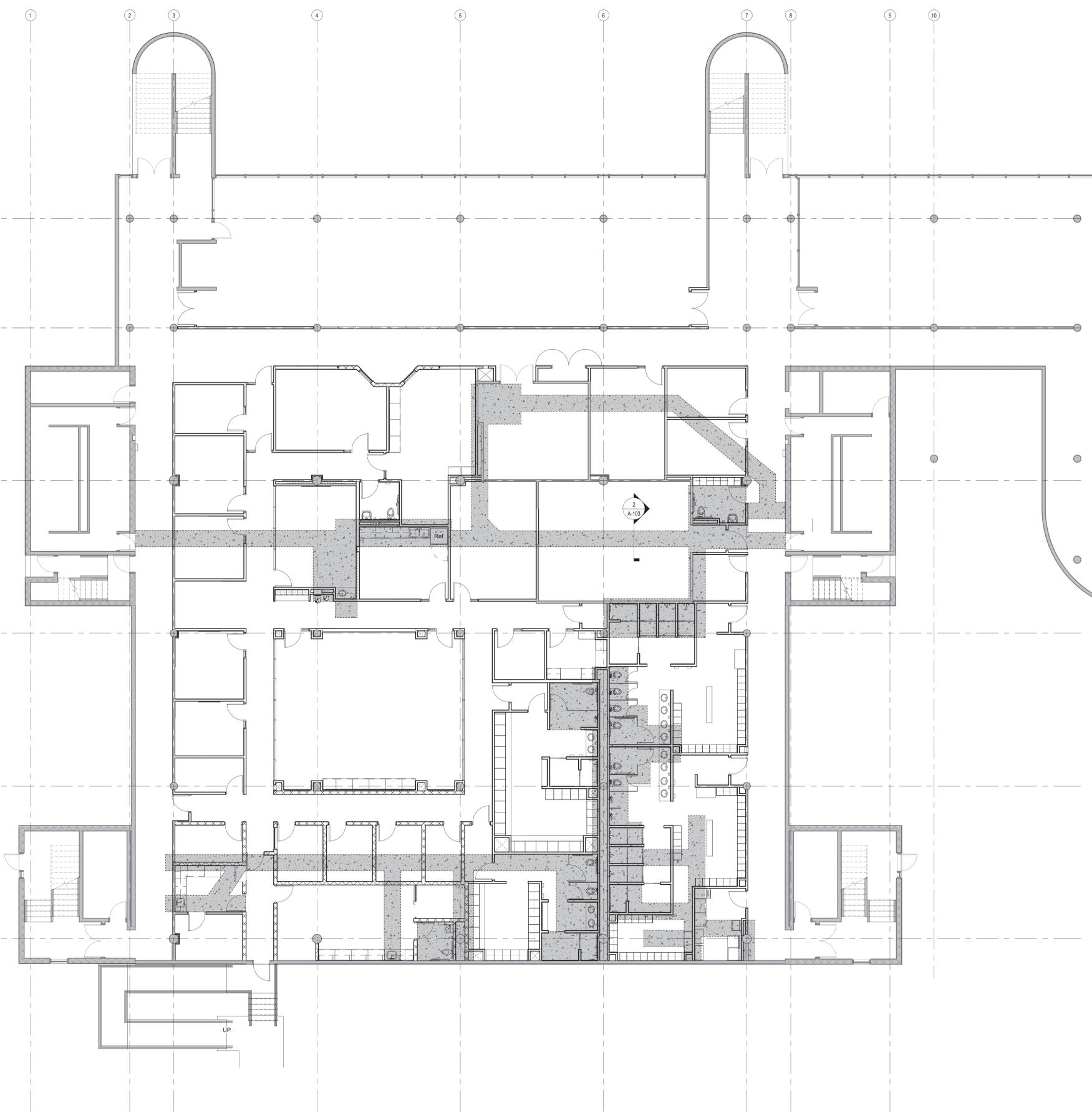
PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY AB/RJ
CHECKED BY JJ

**SECOND FLOOR
REFERENCE PLAN**

A-102
ISSUED FOR BIDDING



2 FULL DEPTH CONCRETE INFILL DETAIL
3" = 1'-0" A-103



1 OVERALL FLOOR PLAN
1/8" = 1'-0" A-101A

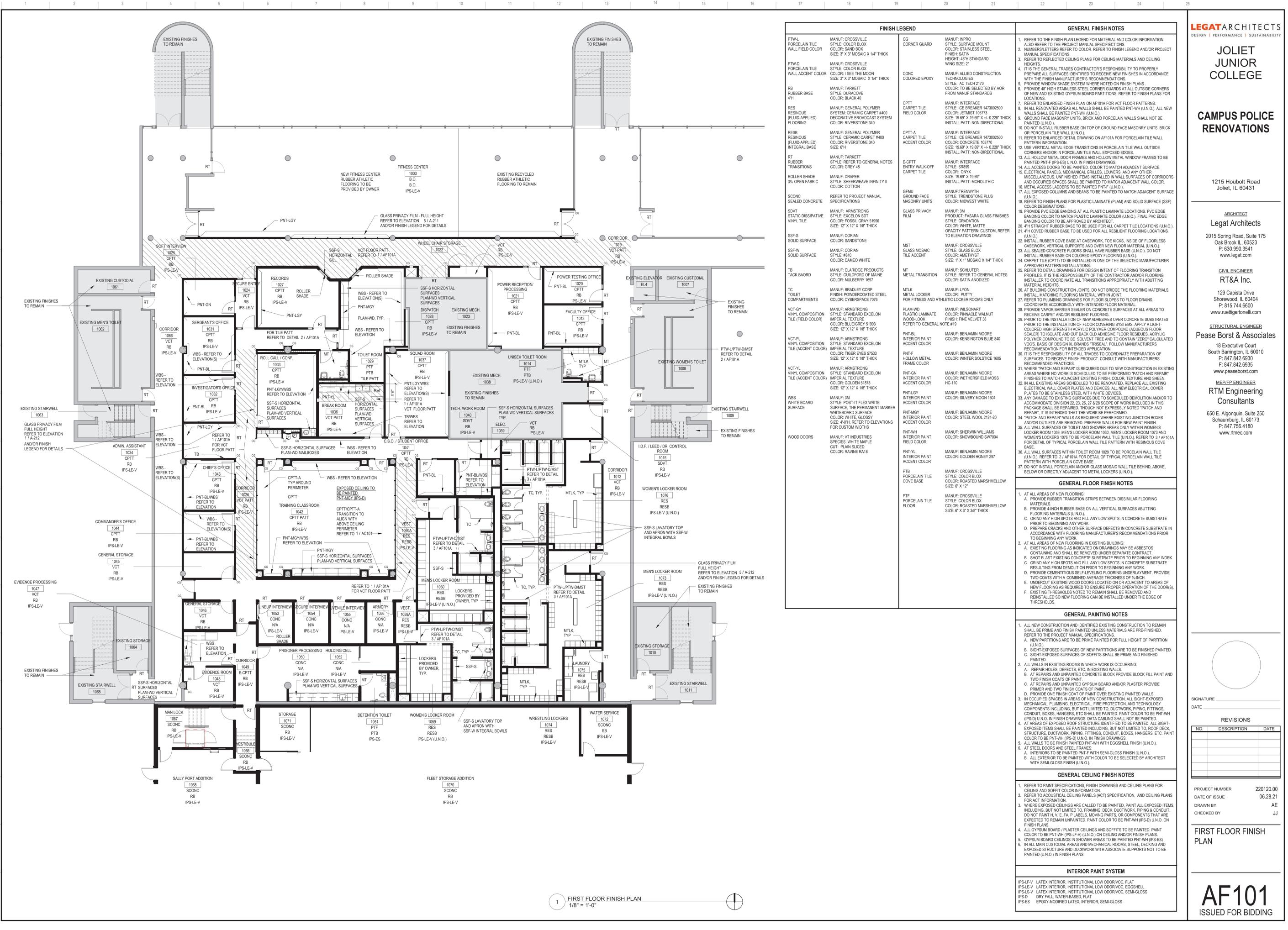
SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY AB/RJ
CHECKED BY JJ

FIRST FLOOR
CONCRETE INFILL PLAN

A-103
ISSUED FOR BIDDING



1 FIRST FLOOR FINISH PLAN
1/8" = 1'-0"

FINISH LEGEND		GENERAL FINISH NOTES	
PTWL PORCELAIN TILE WALL FIELD COLOR	MANUF: CROSSVILLE STYLE: COLOR BLOX COLOR: SAND BOX SIZE: 3' X 3' MOSAIC X 1/4" THICK	CG CORNER GUARD	MANUF: INPRO STYLE: SURFACE MOUNT COLOR: STAINLESS STEEL
PTW-D PORCELAIN TILE WALL ACCENT COLOR	MANUF: CROSSVILLE STYLE: COLOR BLOX COLOR: I SEE THE MOON SIZE: 3' X 3' MOSAIC X 1/4" THICK	CONC COLORED EPOXY	MANUF: ALLED CONSTRUCTION TECHNOLOGIES STYLE: AC TECH 2170 COLOR: TO BE SELECTED BY ACR FROM MANUF. STANDARDS
RB RUBBER BASE 4" H	MANUF: TARKETT STYLE: DURACORE COLOR: BLACK 40	CPTT CARPET TILE FIELD COLOR	MANUF: INTERFACE STYLE: ICE BREAKER 1473002900 COLOR: CONCRETE 105770 SIZE: 19.69" X 19.69" X +/- 0.228" THICK INSTALL PATT. NON-DIRECTIONAL
RES RESINOUS (FLUID-APPLIED) FLOORING	MANUF: GENERAL POLYMER STYLE: CERAMIC CARPET #400 COLOR: RIVERSTONE 340 SIZE: 6H	CPTT-A CARPET TILE ACCENT COLOR	MANUF: INTERFACE STYLE: ICE BREAKER 1473002900 COLOR: CONCRETE 105770 SIZE: 19.69" X 19.69" X +/- 0.228" THICK INSTALL PATT. NON-DIRECTIONAL
RESB RESINOUS (FLUID-APPLIED) INTEGRAL BASE	MANUF: GENERAL POLYMER STYLE: CERAMIC CARPET #400 COLOR: RIVERSTONE 340 SIZE: 6H	E-CPTT ENTRY WALK-OFF CARPET TILE	MANUF: INTERFACE STYLE: 58869 COLOR: ONYX SIZE: 19.69" X 19.69"
RT RUBBER TRANSITIONS	MANUF: TARKETT STYLE: REFER TO GENERAL NOTES COLOR: GREY 48	GMU GROUND FACE MASONRY UNITS	MANUF: TRENNYTH STYLE: TRENSTONE PLUS COLOR: MEDIUM WHITE
ROLLER SHADE 3% OPEN FABRIC	MANUF: DRAPER STYLE: SHERWINE INFINITY II COLOR: COTTON	MT METAL TRANSITION	MANUF: SOLLITER COLOR: SATIN ANODIZED
SCONC SEALED CONCRETE	REFER TO PROJECT MANUAL SPECIFICATIONS	MTLK METAL LOCKER	MANUF: LYON COLOR: PUTTY FOR FITNESS AND ATHLETIC LOCKER ROOMS ONLY
SDVT STATIC DISSIPATIVE VINYL TILE	MANUF: ARMSTRONG STYLE: EXCELON SDT COLOR: FOSSIL GRAY 51956 SIZE: 12" X 12" X 1/8" THICK	PLAM-WD PLASTIC LAMINATE WOODLOOK	MANUF: WILSONART COLOR: PINNACLE WALNUT FINISH: FINE VELVET 38 REFER TO GENERAL NOTE #19
SSF-S SOLID SURFACE	MANUF: CORIAN COLOR: SANDSTONE	PNT-BL INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: KENSINGTON BLUE 840
SSF-W SOLID SURFACE	MANUF: CORIAN STYLE: RB10 COLOR: CAMEO WHITE	PNT-FH HOLLOW METAL FRAME COLOR	MANUF: BENJAMIN MOORE COLOR: WINTER SOLISTICE 1605
TB TACK BOARD	MANUF: CLARCO PRODUCTS STYLE: GILDORCE OF MAINE COLOR: MULBERRY 1697	PNT-GN INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: WETHERFIELD MOSS HC-110
TC TOILET COMPARTMENTS	MANUF: BRADLEY CORP FINISH: POWDERCOATED STEEL COLOR: CYBERSPACE 7076	PNT-LGY INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: SILVER MOON 1694
VCT-GY VINYL COMPOSITION TILE (FIELD COLOR)	MANUF: ARMSTRONG STYLE: STANDARD EXCELON IMPERIAL TEXTURE COLOR: BLUE/GRY 51903 SIZE: 12" X 12" X 1/8" THICK	PNT-MGY INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: STEEL WOOL 2121-20
VCT-PL VINYL COMPOSITION TILE (ACCENT COLOR)	MANUF: ARMSTRONG STYLE: STANDARD EXCELON IMPERIAL TEXTURE COLOR: TIGER EYES 57533 SIZE: 12" X 12" X 1/8" THICK	PNT-WH INTERIOR PAINT FIELD COLOR	MANUF: SHERWIN WILLIAMS COLOR: SNOWBOND SW7004 FIELD COLOR
VCT-VL VINYL COMPOSITION TILE (ACCENT COLOR)	MANUF: ARMSTRONG STYLE: STANDARD EXCELON IMPERIAL TEXTURE COLOR: GOLDEN 51878 SIZE: 12" X 12" X 1/8" THICK	PNT-YL INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: GOLDEN HONEY 297
WBS WHITE BOARD SURFACE	MANUF: 3M STYLE: POST-IT FLEX WRITE SURFACE. THE PERMANENT MARKER WHITEBOARD SURFACE COLOR: WHITE, GLOSSY SIZE: 40". REFER TO ELEVATIONS FOR CUSTOM WIDTHS	PTB PORCELAIN TILE COVE BASE	MANUF: CROSSVILLE STYLE: COLOR BLOX COLOR: ROASTED MARSHMALLOW SIZE: 6" X 6"
WOOD DOORS	MANUF: U. INDUSTRIES SPECIES: WHITE MAPLE CUT. PLAIN SLOCED COLOR: RAVINE RA18	PTF PORCELAIN TILE FLOOR	MANUF: CROSSVILLE STYLE: COLOR BLOX COLOR: ROASTED MARSHMALLOW SIZE: 6" X 6" X 3/8" THICK

1. REFER TO THE FINISH PLAN LEGEND FOR MATERIAL AND COLOR INFORMATION. ALSO REFER TO THE PROJECT MANUAL SPECIFICATIONS.
2. NUMBERS/LETTERS REFER TO COLOR. REFER TO FINISH LEGEND AND/OR PROJECT MANUAL SPECIFICATIONS.
3. REFER TO REFLECTED CEILING PLANS FOR CEILING MATERIALS AND CEILING HEIGHTS.
4. IT IS THE GENERAL TRADES CONTRACTOR'S RESPONSIBILITY TO PROPERLY PREPARE ALL SURFACES IDENTIFIED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE FINISH MANUFACTURER'S RECOMMENDATIONS.
5. PROVIDE WINDOW SHADE SYSTEM WHERE NOTED ON FINISH PLANS.
6. PROVIDE 48" HIGH STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS OF NEW AND EXISTING GYPSUM BOARD PARTITIONS. REFER TO FINISH PLANS FOR LOCATIONS.
7. REFER TO ENLARGED FINISH PLAN ON AF101A FOR VCT FLOOR PATTERNS.
8. IN ALL RENOVATED AREAS ALL WALLS SHALL BE PAINTED PNT-WH (U.N.O.). ALL NEW WALLS SHALL BE PAINTED PNT-WH (U.N.O.).
9. GROUND FACE MASONRY UNITS, BRICK AND PORCELAIN WALLS SHALL NOT BE PAINTED (U.N.O.).
10. DO NOT INSTALL RUBBER BASE ON TOP OF GROUND FACE MASONRY UNITS, BRICK OR PORCELAIN TILE WALL (U.N.O.).
11. REFER TO ENLARGED DETAIL DRAWING ON AF101A FOR PORCELAIN TILE WALL PATTERN INFORMATION.
12. USE VERTICAL METAL EDGE TRANSITIONS IN PORCELAIN TILE WALL OUTSIDE CORNERS AND/OR IN PORCELAIN TILE WALL EXPOSED EDGES.
13. ALL HOLLOW METAL DOOR FRAMES AND HOLLOW METAL WINDOW FRAMES TO BE PAINTED PNT-F (U.N.O.) IN FINISH DRAWINGS.
14. ALL ACCESS DOORS TO MATCH ADJACENT SURFACE.
15. ELECTRICAL PANELS, MECHANICAL GRILLES, LOUVERS, AND ANY OTHER MISCELLANEOUS UNFINISHED ITEMS INSTALLED IN WALL SURFACES OF CORRIDORS AND OCCUPIED SPACES SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.
16. METAL ACCESS LADDERS TO BE PAINTED PNT-F (U.N.O.).
17. ALL EXPOSED COLUMNS AND BEAMS TO BE PAINTED TO MATCH ADJACENT SURFACE (U.N.O.).
18. REFER TO FINISH PLANS FOR PLASTIC LAMINATE (PLAM) AND SOLID SURFACE (SSF) COLOR DESIGNATIONS.
19. PROVIDE PVC EDGE BANDING AT ALL PLASTIC LAMINATE LOCATIONS. PVC EDGE BANDING COLOR TO MATCH PLASTIC LAMINATE COLOR (U.N.O.). FINAL PVC EDGE BANDING COLOR TO BE APPROVED BY ARCHITECT.
20. 4" STRAIGHT RUBBER BASE TO BE INSTALLED FOR ALL CARPET TILE LOCATIONS (U.N.O.). 4" H COVER RUBBER BASE TO BE USED FOR ALL RESILIENT FLOORING LOCATIONS (U.N.O.).
21. INSTALL RUBBER COVE BASE AT CASEWORK, TOTE KICKS, INSIDE OF FLOORLESS CASEWORK, VERTICAL SUPPORTS AND OVER NEW FLOOR MATERIAL (U.N.O.).
22. ALL SEALED CONCRETE FLOORS SHALL HAVE RUBBER BASE (U.N.O.). DO NOT INSTALL RUBBER BASE ON COLORED EPOXY FLOORINGS (U.N.O.).
23. ALL TILE (PTT) TO BE INSTALLED IN ONE OF THE SELECTED MANUFACTURER APPROVED PATTERN INSTALLATIONS.
24. REFER TO DETAIL DRAWINGS FOR DESIGN INTENT OF FLOORING TRANSITION PROFILES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR FLOORING INSTALLER TO COORDINATE ALL TRANSITIONS APPROPRIATELY WITH ABUTTING MATERIAL HEIGHTS.
25. AT BUILDING CONSTRUCTION JOINTS, DO NOT BRIDGE THE FLOORINGS MATERIALS. INSTALL MATCHING FLOORING MATERIAL WITH JOINT.
26. REFER TO PLUMBING DRAWINGS FOR FLOOR SLOPES TO FLOOR DRAINS. COORDINATE ACCORDINGLY WITH INTENDING FLOOR MATERIAL.
27. PROVIDE VAPOR BARRIER SEALER ON CONCRETE SURFACES AT ALL AREAS TO RECEIVE CARPET AND/OR RESILIENT FLOORING.
28. PRIOR TO THE INSTALLATION OF FLOOR COVERING SYSTEMS, APPLY A LIGHT-COLORED HIGH STRENGTH ACRYLIC POLYMER COMPOUND (AQUEOUS FLUID AND POWDER) TO ISOLATE AND ADHESIVE POLYMER RESIDUES. ACRYLIC POLYMER COMPOUND TO BE SOLVENT FREE AND TO CONTAIN "ZERO" CALCULATED VOC'S. BASIS OF DESIGN XL BRANDS "TRISEA". FOLLOW MANUFACTURER'S RECOMMENDATION FOR PROPER APPLICATION.
29. IT IS THE RESPONSIBILITY OF ALL TRADES TO COORDINATE PREPARATION OF SURFACES TO RECEIVE FINISH PRODUCT. CONSULT WITH MANUFACTURERS RECOMMENDED PRACTICES.
30. WHERE "PATCH AND REPAIR" IS REQUIRED DUE TO NEW CONSTRUCTION IN EXISTING AREAS WHERE NO WORK IS SCHEDULED TO BE PERFORMED "PATCH AND REPAIR" FINISHES TO MATCH ADJACENT EXISTING FINISH COLOR, TEXTURE AND SHEEN.
31. IN ALL EXISTING AREAS SCHEDULED TO BE RENOVATED, REPLACE ALL EXISTING ELECTRICAL WALL COVER PLATES AND DEVICES. ALL NEW ELECTRICAL COVER PLATES TO BE STAINLESS STEEL WITH WHITE DEVICES.
32. ANY DAMAGE TO EXISTING SURFACES DUE TO SCHEDULED DEMOLITION AND/OR TO ACCOMMODATE DIVISION 22, 23, 26, 27 & 28 SCOPE OF WORK INCLUDED IN THIS PACKAGE SHALL BE REPAIRED, HOWEVER NOT EXPRESSLY NOTED "PATCH AND REPAIR" IT IS INTENDED THAT IT BE PERFORMED.
33. "PATCH AND REPAIR" WALLS AS REQUIRED WHERE EXISTING JUNCTION BOXES AND OUTLETS ARE REMOVED. PREPARE WALLS FOR NEW PAINT FINISH.
34. ALL WALL SURFACES OF TOILET AND SHOWER AREAS ONLY WITHIN WOMEN'S LOCKER ROOM 1059, MEN'S LOCKER ROOM 1060, MEN'S LOCKER ROOM 1073 AND WOMEN'S LOCKERS 1078 TO BE PORCELAIN TILE (U.N.O.). REFER TO 3 / AF101A FOR FINISH OF TYPICAL PORCELAIN TILE PATTERN INFORMATION REGARDING COVE BASE.
35. ALL WALL SURFACES WITHIN TOILET ROOM 1029 TO BE PORCELAIN WALL TILE (U.N.O.). REFER TO 1 / AF101A FOR DETAIL OF TYPICAL PORCELAIN WALL TILE PATTERN WITH PORCELAIN COVE BASE.
36. DO NOT INSTALL PORCELAIN AND/OR GLASS MOSAIC WALL TILE BEHIND ABOVE. BELOW OR DIRECTLY ADJACENT TO METAL LOCKERS (U.N.O.).

LEGAT ARCHITECTS
DESIGN | PERFORMANCE | SUSTAINABILITY

JOLIET JUNIOR COLLEGE

CAMPUS POLICE RENOVATIONS

1215 Houbolt Road
Joliet, IL 60431

ARCHITECT
Legat Architects
2015 Spring Road, Suite 175
Oak Brook, IL 60523
P: 630.990.3541
www.legat.com

CIVIL ENGINEER
RT&A Inc.
129 Capista Drive
Shorewood, IL 60404
P: 815.744.6600
www.ruetgertonn.com

STRUCTURAL ENGINEER
Pease Borst & Associates
18 Executive Court
South Barrington, IL 60010
P: 847.842.6930
F: 847.842.6935
www.peaseborst.com

MEP/FP ENGINEER
RTM Engineering Consultants
650 E. Algonquin, Suite 250
Schaumburg, IL 60173
P: 847.756.4180
www.rtmec.com

SIGNATURE: _____
DATE: _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: 220120.00
DATE OF ISSUE: 06.28.21
DRAWN BY: AE
CHECKED BY: JJ

FIRST FLOOR FINISH PLAN

AF101
ISSUED FOR BIDDING

JOLIET JUNIOR COLLEGE

CAMPUS POLICE RENOVATIONS

1215 Houbolt Road
Joliet, IL 60431

ARCHITECT
Legat Architects
2015 Spring Road, Suite 175
Oak Brook, IL, 60523
P: 630.990.3541
www.legat.com

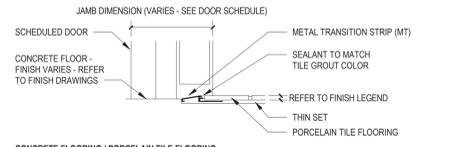
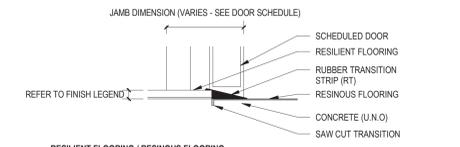
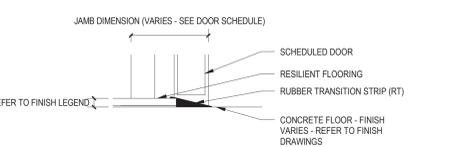
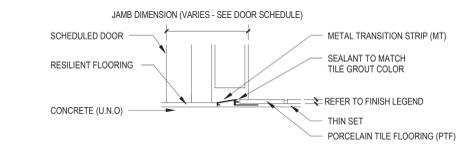
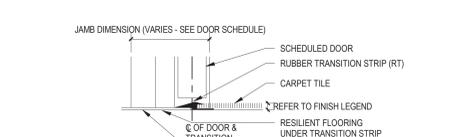
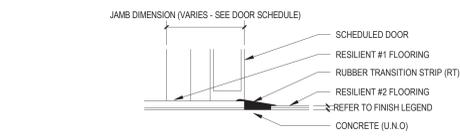
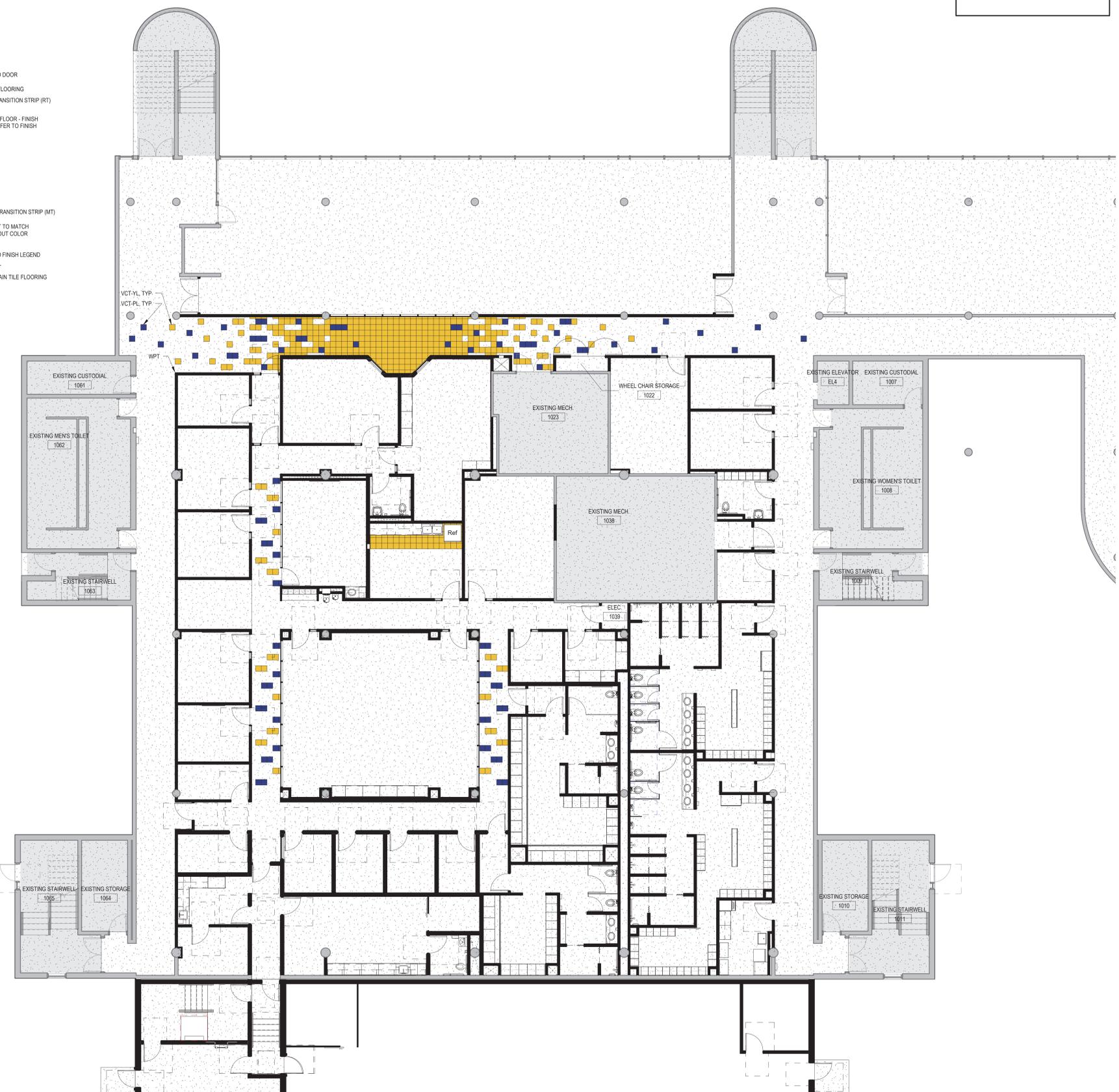
CIVIL ENGINEER
RT&A Inc.
129 Capista Drive
Shorewood, IL, 60404
P: 815.744.6600
www.ruettingertonnelli.com

STRUCTURAL ENGINEER
Pease Borst & Associates
18 Executive Court
South Barrington, IL, 60010
P: 847.842.6930
F: 847.842.6935
www.peaseborst.com

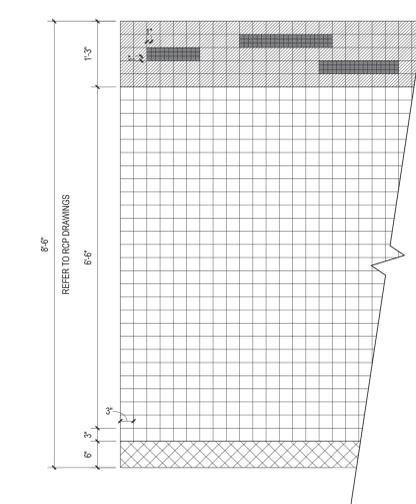
M.E.P. ENGINEER
RTM Engineering Consultants
650 E. Algonquin, Suite 250
Schmaburg, IL, 60173
P: 847.756.4180
www.rtmec.com

SYMBOL LEGEND

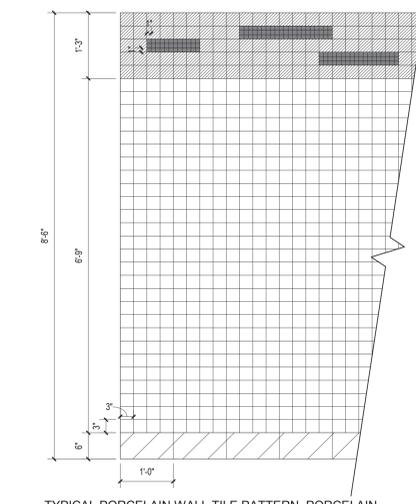
← →	MATERIAL DIRECTION
[Blue Box]	VCT-PL
[Yellow Box]	VCT-YL



FLOOR TRANSITION DETAILS
3/4" = 1'-0"



3 TYPICAL PORCELAIN WALL TILE PATTERN, RESINOUS COVE BASE
3/4" = 1'-0"



2 TYPICAL PORCELAIN WALL TILE PATTERN, PORCELAIN COVE BASE
3/4" = 1'-0"

TYPICAL WALL

- 1" X 1" GLASS MOSAIC TILE TAG: MST (RANDOM BANDS 25%)
- NOTE: INSTALLATION METHOD SHOWN FOR MST IS REPRESENTATIVE OF DESIRED "RANDOM BAND 25%" LAYOUT. DO NOT REPEAT PATTERN IN TOILET ROOMS.
- 3" X 3" PORCELAIN MOSAIC TILE TAG: PTW-D
- 3" X 3" PORCELAIN MOSAIC TILE TAG: PTW-L

TYPICAL BASE

- 6" RESINOUS COVE BASE TAG: RESB

TYPICAL PORCELAIN WALL TILE PATTERN - ALL WALLS THROUGHOUT TOILET AND SHOWER AREAS AND ON ANY WALL ABUTTING A MOP BASIN IN ALL JANITOR CLOSETS TO THE EXTENT OF 1'-0" BEYOND THE EDGE OF MOP BASIN

TYPICAL WALL

- 1" X 1" GLASS MOSAIC TILE TAG: MST (RANDOM BANDS 25%)
- NOTE: INSTALLATION METHOD SHOWN FOR MST IS REPRESENTATIVE OF DESIRED "RANDOM BAND 25%" LAYOUT. DO NOT REPEAT PATTERN IN TOILET ROOMS.
- 3" X 3" PORCELAIN MOSAIC TILE TAG: PTW-D
- 3" X 3" PORCELAIN MOSAIC TILE TAG: PTW-L

TYPICAL BASE

- 6" X 12" PORCELAIN COVE BASE TAG: PTB

TYPICAL PORCELAIN WALL TILE PATTERN - ALL WALLS THROUGHOUT TOILET AND SHOWER AREAS AND ON ANY WALL ABUTTING A MOP BASIN IN ALL JANITOR CLOSETS TO THE EXTENT OF 1'-0" BEYOND THE EDGE OF MOP BASIN

1 FIRST FLOOR FINISH PLAN
1/8" = 1'-0" A-101A

SIGNATURE _____
DATE _____

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY AE
CHECKED BY JJ

FINISH FLOOR PATTERN PLAN

AF101A
ISSUED FOR BIDDING